

GENERAL NOTES

1. THE LAND SHOWN HEREON IS PART OF THE LANDS CONVEYED BY THE UNITED STATES OF AMERICA TO LETTERKENNY INDUSTRIAL DEVELOPMENT AUTHORITY BY QUITCLAIM DEED DATED JANUARY 29, 2004 AND RECORDED AMONG THE LAND RECORDS OF FRANKLIN COUNTY, PENNSYLVANIA IN DEED BOOK VOLUME 2424 AT PAGE 440; SAID LAND BEING MORE SPECIFICALLY DESCRIBED AS PARCEL 3-89-20 AS SHOWN ON A PLAN OF SUBDIVISION ENTITLED "SUBDIVISION OF LANDS OF THE UNITED STATES OF AMERICA TO BE CONVEYED TO LETTERKENNY INDUSTRIAL DEVELOPMENT AUTHORITY" RECORDED IN PLAN BOOK 288 I AT PAGE 594, PARTS 1 THROUGH 38. THE TOTAL LAND AREA INCLUDED IN THIS LAND DEVELOPMENT PLAN IS 6.9855 ACRES.
2. THE PROPERTY LINE INFORMATION SHOWN HEREON IS BASED UPON FIELD SURVEYS COMPLETED BY DENNIS E. BLACK ENGINEERING, INC. IN 2003. TOPOGRAPHY SHOWN IS BASED UPON AERIAL MAPPING (1994) PROVIDED TO LIDA BY BENETEC ASSOCIATES AS AUGMENTED BY FIELD SURVEYS PERFORMED BY DENNIS E. BLACK ENGINEERING, INC. VERTICAL DATUM IS REFERENCED TO NGVD 1988.
3. THE OWNER OF THIS PROPERTY FOR THE PURPOSE OF PLAN APPROVALS IS THE LETTERKENNY INDUSTRIAL DEVELOPMENT AUTHORITY (LIDA), HAVING A BUSINESS ADDRESS OF 5540 COFFEY AVENUE, CHAMBERSBURG, PA 17201. JOHN VAN HORN, EXECUTIVE DIRECTOR, PHONE (717) 267-9351 ext. 26.
4. PUBLIC WATER AND SANITARY SEWER SERVICES SHALL BE PROVIDED BY THE FRANKLIN COUNTY GENERAL AUTHORITY. WATER MAINS EXIST WITHIN OPPORTUNITY AVENUE AND SANITARY SEWER MAINS EXIST ALONG THE EASTERN PROPERTY LINES OF THIS PROPERTY.
5. A SEWAGE FACILITIES PLANNING MODULE WAS APPROVED FOR THE ENTIRE CUMBERLAND VALLEY BUSINESS PARK ON JULY 16, 1999 UNDER PA DEP CODE NO. A3-28907-470-3.
6. PARCEL 3-89-19 IS PROPOSED FOR CONSTRUCTION OF A 30,000 SQUARE FOOT COMMERCIAL INDUSTRIAL BUILDING WITH ATTENDANT PARKING AREAS AND REAR TRACTOR TRAILER ACCESS AND LOADING DOCKS. THIS USE IS A PERMITTED USE IN THE EXISTING HEAVY INDUSTRIAL (HI) ZONE.
7. THE STORMWATER MANAGEMENT SYSTEM SHOWN HEREON HAS BEEN DESIGNED TO COMPLY WITH THE REQUIREMENTS OF THE GREENE TOWNSHIP STORMWATER MANAGEMENT ORDINANCE AND THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S POST-CONSTRUCTION STORMWATER MANAGEMENT REGULATIONS.
 - a. THE STORMWATER MANAGEMENT SYSTEM SHALL BE CONSTRUCTED AND MAINTAINED BY THE DEVELOPER AND PURCHASER (PROPERTY OWNER) OF THE PROPERTY.
 - b. THE DRAINAGE AND STORMWATER MANAGEMENT EASEMENTS SHOWN HEREON ARE HEREBY ESTABLISHED FOR THE CONSTRUCTION AND MAINTENANCE OF THE STORM DRAINAGE AND STORMWATER MANAGEMENT FACILITIES SHOWN AND ARE RESERVED UNTO THE PROPERTY OWNER, THEIR HEIRS, SUCCESSORS AND ASSIGNS. GREENE TOWNSHIP SUPERVISORS AND THEIR EMPLOYEES SHALL HAVE ACCESS TO THE PROPERTY AND TO THE DRAINAGE AND STORMWATER MANAGEMENT EASEMENTS AND SHALL HAVE THE RIGHT TO MAINTAIN OR REPAIR THE FACILITIES TO RESTORE THEM TO DESIGN CONDITIONS IF THE LOT OWNER FAILS TO PERFORM REQUIRED MAINTENANCE AS PROVIDED IN PARAGRAPH a. NEXT ABOVE. THIS PROCEDURE DOES NOT CONTEMPLATE ANY MAINTENANCE WILL BE PERFORMED BY GREENE TOWNSHIP, AND THE COST OF ANY MAINTENANCE REQUIRED BY GREENE TOWNSHIP WILL BE BILLED TO AND PAID BY THE LOT OR TRACT OWNER RESPONSIBLE FOR MAINTENANCE AS PROVIDED IN PARAGRAPH a. NEXT ABOVE.
8. WETLANDS EXIST ON THIS PROPERTY AS SHOWN HEREON AS DELINEATED BY SKELLY & LOY. THE ORIGINAL DELINEATION WAS CONDUCTED IN 2005 AND A JURISDICTIONAL DETERMINATION CONDUCTED AT THAT TIME BY THE UNITED STATES ARMY CORPS OF ENGINEERS, BALTIMORE DISTRICT DETERMINED THAT SAID WETLANDS WERE UNDER THE JURISDICTION OF THE COMMONWEALTH OF PENNSYLVANIA, DEPARTMENT OF ENVIRONMENTAL PROTECTION. A RE-DELINEATION AND UPDATED JURISDICTIONAL REVIEW WERE COMPLETED IN 2012 WHICH UPHHELD THAT DETERMINATION. NO DISTURBANCE TO EXISTING WETLANDS IS PROPOSED.
9. THE PROPERTY INCLUDED IN THE LAND DEVELOPMENT PLAN IS NOT PART OF AN AGRICULTURAL DISTRICT.
10. OTHER THAN THE WETLANDS IDENTIFIED IN NOTE 8, NO OTHER NATURAL RESOURCES EXIST ON THE SITE SUCH AS WATERCOURSES, FLOODPLAINS, STEEP SLOPES, ETC.
11. NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT WHICH WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH ANY EASEMENT AGREEMENT.
12. ACCORDING TO A NON-BINDING TRAFFIC IMPACT FEE ESTIMATE PROVIDED BY LARSON DESIGN GROUP IN A LETTER TO THE TOWNSHIP DATED OCTOBER 15, 2013, A TRAFFIC IMPACT FEE FOR THIS DEVELOPMENT IS ESTIMATED TO BE \$21,042.
13. THE OWNER/DEVELOPER HEREBY REQUESTS A WAIVER OF TOWNSHIP CODE §85-51.A WHICH REQUIRES CONSTRUCTION OF SIDEWALKS ALONG PUBLIC STREET FRONTAGE. SIDEWALKS HAVE BEEN FOUND TO BE UNNECESSARY WITHIN THIS SECTION OF THE CUMBERLAND VALLEY BUSINESS PARK DUE TO THE NATURE AND CHARACTER OF THE INDUSTRIAL DEVELOPMENT AND THUS HAVE NOT BEEN CONSTRUCTED ALONG OPPORTUNITY AVENUE. THE SITE CONTRACTOR, WHEN GRADING THE STREET FRONTAGE AREAS, SHALL PROVIDE A FOUR FOOT WIDE FLAT AREA FROM THE STREET RIGHT-OF-WAY LINE TOWARD THE CURB AS SHOWN TO ALLOW FOR THE POTENTIAL FUTURE INSTALLATION OF SIDEWALKS.

PRELIMINARY LAND DEVELOPMENT PLAN

PARCEL 3-89-20

SITUATE IN THE

CUMBERLAND VALLEY BUSINESS PARK

LOCATED IN

GREENE TOWNSHIP, FRANKLIN COUNTY, PA

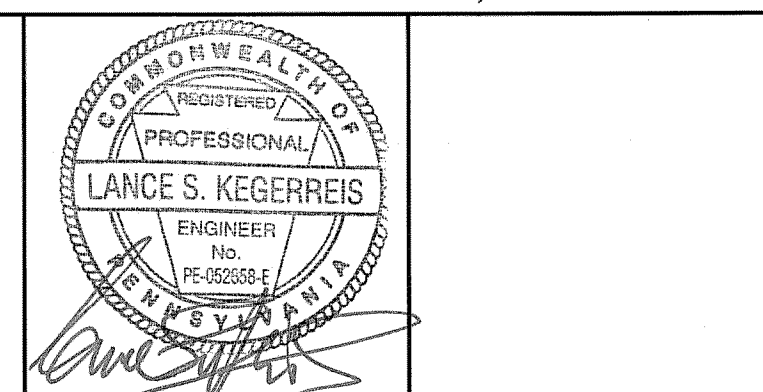
PREPARED FOR:

LETTERKENNY INDUSTRIAL DEVELOPMENT AUTHORITY

5540 COFFEY AVENUE CHAMBERSBURG, PA 17201

PREPARED BY:

DENNIS E. BLACK ENGINEERING, INCORPORATED
ENGINEERING - SURVEYING - PLANNING
2400 PHILADELPHIA AVENUE
CHAMBERSBURG, PA. 17201



1. COVER SHEET
2. EXISTING CONDITIONS PLAN
3. SITE GRADING AND POST CONSTRUCTION STORM WATER MANAGEMENT (PCSWM) PLAN
4. POST CONSTRUCTION STORM WATER MANAGEMENT (PCSWM) DETAILS
5. POST CONSTRUCTION STORM WATER MANAGEMENT (PCSWM) DETAILS
6. SANITARY SEWER PLAN PROFILE AND CONSTRUCTION DETAILS
7. EROSION & SEDIMENTATION CONTROL PLAN
8. EROSION & SEDIMENTATION CONTROL DETAILS

PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776

PENNSYLVANIA LAW REQUIRES NOT LESS THAN THREE NOR MORE THAN TEN WORKING DAYS NOTICE BEFORE EXCAVATION

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE.

REFER TO PENNSYLVANIA ONE CALL SYSTEM, INC. DESIGN NOTIFICATION SERIAL #20132202859 NOTIFIED: 8/09/2013

PA Act 267 of 1974 as amended by Act 121 of 2008, 73 P.S. §1718 et. seq. Utility Listing:

COMPANY: FRANKLIN COUNTY GEN AUTH
ADDRESS: 5000 LETTERKENNY RD SUITE 200
CHAMBERSBURG, PA. 17201
CONTACT: BOB ARLEY
EMAIL: bob.arley@franklincounty.net

COMPANY: GREENE TOWNSHIP MUNICIPAL AUTHORITY
ADDRESS: 418 SALTER PIKE
CHAMBERSBURG, PA. 172029637
CONTACT: JEFF COOPER

COMPANY: GREENE TOWNSHIP
ADDRESS: 110 GARDES LN
50, BUCKLE, PA. 172040215
CONTACT: TRAVIS A. BROOKINGS
EMAIL: greenetown@pa.gov

COMPANY: CULFORD WATER AUTHORITY
ADDRESS: 112 SPRING VALLEY ROAD
CHAMBERSBURG, PA. 17202
EMAIL: mdtrevsup@culfordwater.com

COMPANY: WEST PENN POWER
ADDRESS: 74 S MAIN ST
MORRIS, OH. 44068
CONTACT: STEPHEN J. SCHWARTZ
EMAIL: sjschwartz@westpennpower.com

COMPANY: LETTERKENNY WATER DEPOT
ADDRESS: ATTN: JAMES L.D.
CHAMBERSBURG, PA. 172014150
CONTACT: JAMES A. COOKMAN
EMAIL: james.a.cookman@lida.net

COMPANY: CHAMBERSBURG BOROUGH
ADDRESS: 100 S 2ND ST
CHAMBERSBURG, PA. 172010909
CONTACT: BOB REICHER

COMPANY: COMCAST CABLE COMMUNICATIONS INC
ADDRESS: 610 ONE LEGION SQUARE W
3005 HAMILTON CROSSING BLVD STE 200
CHAMBERSBURG, PA 17202
CONTACT: USC OFFICE PERSONNEL

COMPANY: CENTURYLINK
ADDRESS: 122 BALDWIN STREET
MORRISVILLE, NC 27555
CONTACT: LEO HILBERT
EMAIL: leo.hilbert@centurylink.com

COMPANY: US CENTRAL PENN GAS, INC
ADDRESS: 225 MCDONALDSON RD
CHAMBERSBURG, PA. 17611
CONTACT: ANDREW BLANK
EMAIL: ablank@ucg.com

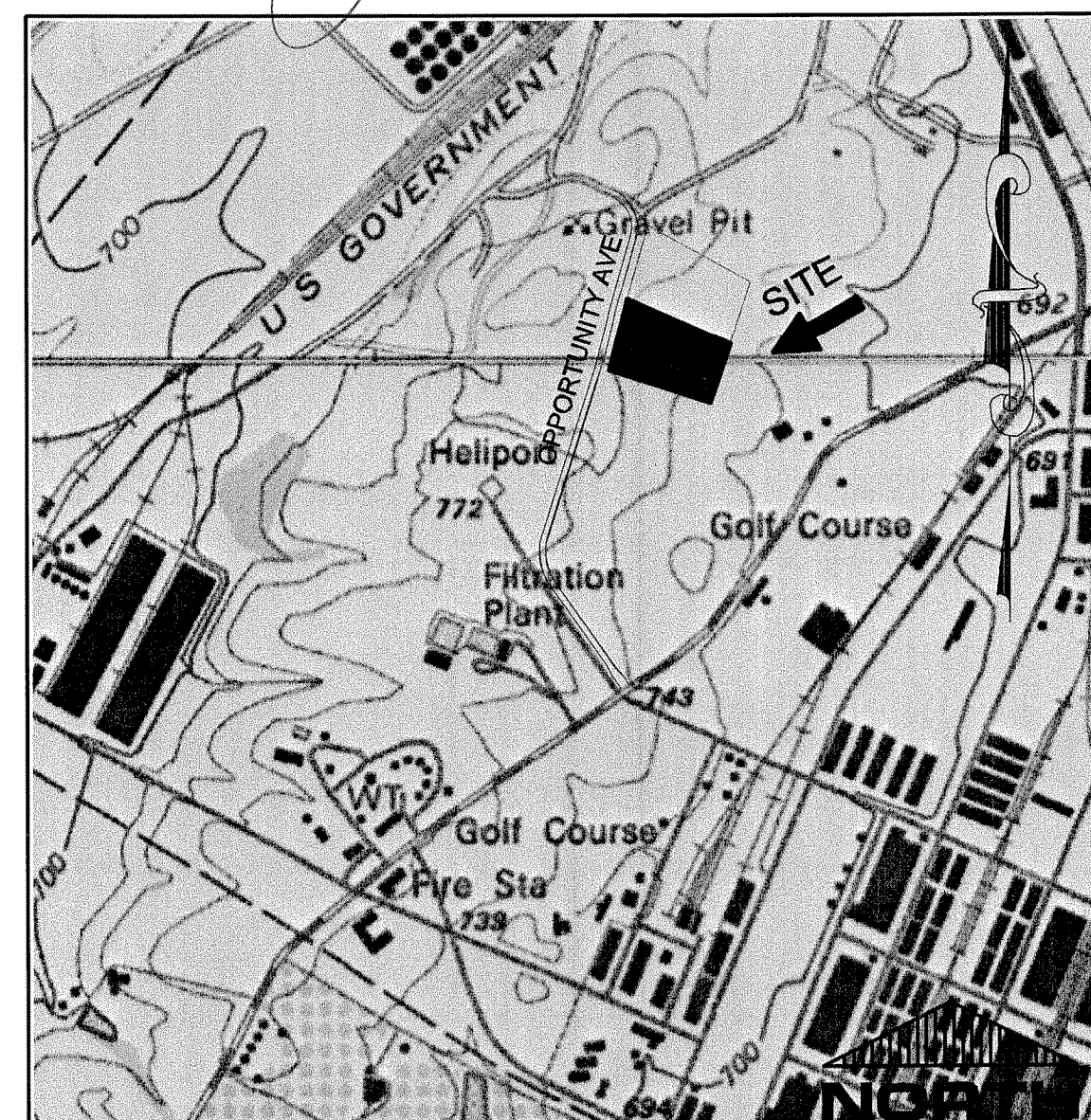
OWNER'S STORMWATER MANAGEMENT PLAN CERTIFICATION

The undersigned property owner hereby acknowledges that the stormwater management system depicted on this plan is a permanent fixture that may be altered or removed only after approval of a revised plan by the Greene Township Board of Supervisors.

Letterkenny Industrial Development Authority, Owner
By John M. Van Horn, Executive Director Date 8/24/2013

STORM WATER MANAGEMENT PLAN CERTIFICATION

Lance S. Kegerreis, a registered professional engineer, hereby certify that the drainage plan meets all the requirements of the Greene Township Storm water Management Ordinance.



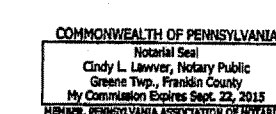
OWNER'S CERTIFICATION

It is hereby certified that the undersigned have legal or equitable title to the land shown herein being considered for land development approval; that the stormwater management assessment and access easement shown hereon are hereby established for the uses shown and reserved to the owners, their heirs, successors and assigns; and that this plan is hereby submitted with the fee will and consent of those who have herein signed.

Letterkenny Industrial Development Authority, Owner
By John M. Van Horn, Executive Director

Commonwealth of Pennsylvania
County of Franklin
On this 24th day of July, 2013
Before me, a Notary Public, personally appeared John M. Van Horn, Executive Director of Letterkenny Industrial Development Authority who acknowledged this plan to be their act and deed, and desire the same to be recorded as such.

In Witness Whereof I Hereunto Set My Hand and Seal
[Signature] Notary Public
My Commission Expires Sept. 28, 2015



N/F
THE COUNTY OF FRANKLIN
DB 2821 PG 192 PLAN BOOK
VOL. 288-1, PAGE 594
TAX MAP C-3S, PARCEL 75

OPPORTUNITY AVENUE T-832

DEDICATION TO GREENE TOWNSHIP DB 3296, PG 475

PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776

PENNSYLVANIA LAW REQUIRES NOT LESS THAN THREE NOR MORE THAN TEN WORKING DAYS NOTICE BEFORE EXCAVATION

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE

REFER TO PENNSYLVANIA ONE CALL SYSTEM, INC. DESIGN NOTIFICATION SERIAL #2013202880 NOTIFIED 8/08/2013

PA Act 287 of 1974 as amended by Act 121 of 2008 73 P.S. §176 et. seq. Utility Listing:

COMPANY: FRANKLIN COUNTY GEN AUTH
ADDRESS: 800 LITTLEWING RD SUITE 230
CHAMBERSBURG, PA 17201
CONTACT: NICK WITTE
EMAIL: n.witte@franklincounty.org

COMPANY: GREENE TOWNSHIP MUNICIPAL AUTHORITY
ADDRESS: 1145 GARDE LN
CHAMBERSBURG, PA 17202
CONTACT: JEFF COPPER
EMAIL: jcopper@greentownship.org

COMPANY: GREENE TOWNSHIP
ADDRESS: 1145 GARDE LN
PO BOX 215
SCOTLAND, PA 172540215
CONTACT: BAIGI L BROOKINS
EMAIL: baigi@gre.net

COMPANY: CALFORD WATER AUTHORITY
ADDRESS: 115 SPRING VALLEY ROAD
CHAMBERSBURG, PA 17202
CONTACT: MATTHEW CHAMBERSBURG
EMAIL: mchambers@calfordwa.com

COMPANY: WEST PENN POWER
ADDRESS: 78 S MAIN ST
HARRISBURG, PA 17101
CONTACT: STEPHEN F SCARFF
EMAIL: scarff@westpennpower.com

COMPANY: LETTERKENNY ARMY DEPOT
ADDRESS: 4TH MIL RD
1 OVERCASH AVE
CHAMBERSBURG, PA 172014150
CONTACT: JAMES A COCCAGNA
EMAIL: james.a.cocagna@army.mil

COMPANY: CHAMBERSBURG BOROUGH
ADDRESS: 100 S 2ND ST
PO BOX 1028
CHAMBERSBURG, PA 172010909
CONTACT: KEN MEYER

COMPANY: COMCAST CABLE COMMUNICATIONS INC
ADDRESS: 1305 SHABEL LN WOODING BLVD STE 200
CAMEL, IN 46033
CONTACT: SOC STAFF PERSONNEL

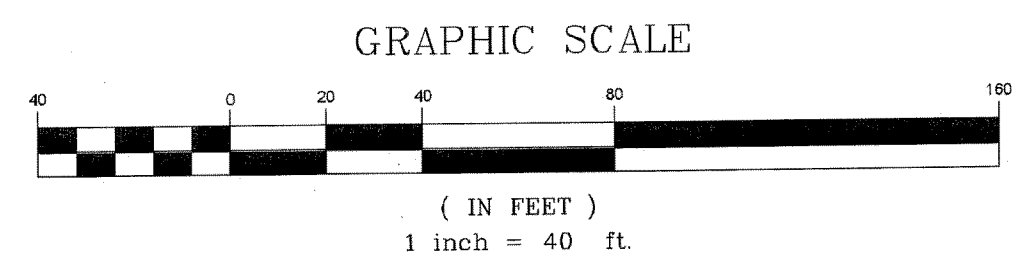
COMPANY: CENTURYLINK
ADDRESS: 122 BALTIMORE STREET
HARRISBURG, PA 17201
CONTACT: LEO HILBERT
EMAIL: leo.hilbert@centurylink.com

COMPANY: US CENTRAL PENN GAS, INC
ADDRESS: 225 HORSBURY RD
READING, PA 19611
CONTACT: ANDREW BLACK
EMAIL: ablack@ucp.com

CURVE TABLE					
CURVE	RADIUS	LENGTH TANGENT	CHORD BEARING	CHORD	
C 35	225.00'	44.38'	22.26'	N 10°27'09" E	44.31'
C 36	40.00'	52.92'	31.14'	N 42°42'08" E	49.14'
C 37	175.00'	116.68'	60.60'	S 80°17'46" E	114.53'
C 38	1075.00'	89.95'	45.00'	N 15°19'41" E	89.93'
C 39	975.00'	53.99'	27.00'	N 14°31'01" E	53.98'

LETTERKENNY INDUSTRIAL
DEVELOPMENT AUTHORITY
VOLUME 2424, PAGE 440

PARCEL 3-89-19
7.4784 ACRES
PLAN BOOK 2881, PAGE 594
TAX MAP C-3S, PARCEL 61



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	11/22/13	Revised per Township / FCCD comments	GCA

PROPERTY MAP & EXISTING CONDITIONS PLAN

PRELIMINARY LAND DEVELOPMENT PLAN

PARCEL 3-89-20

CUMBERLAND VALLEY BUSINESS PARK

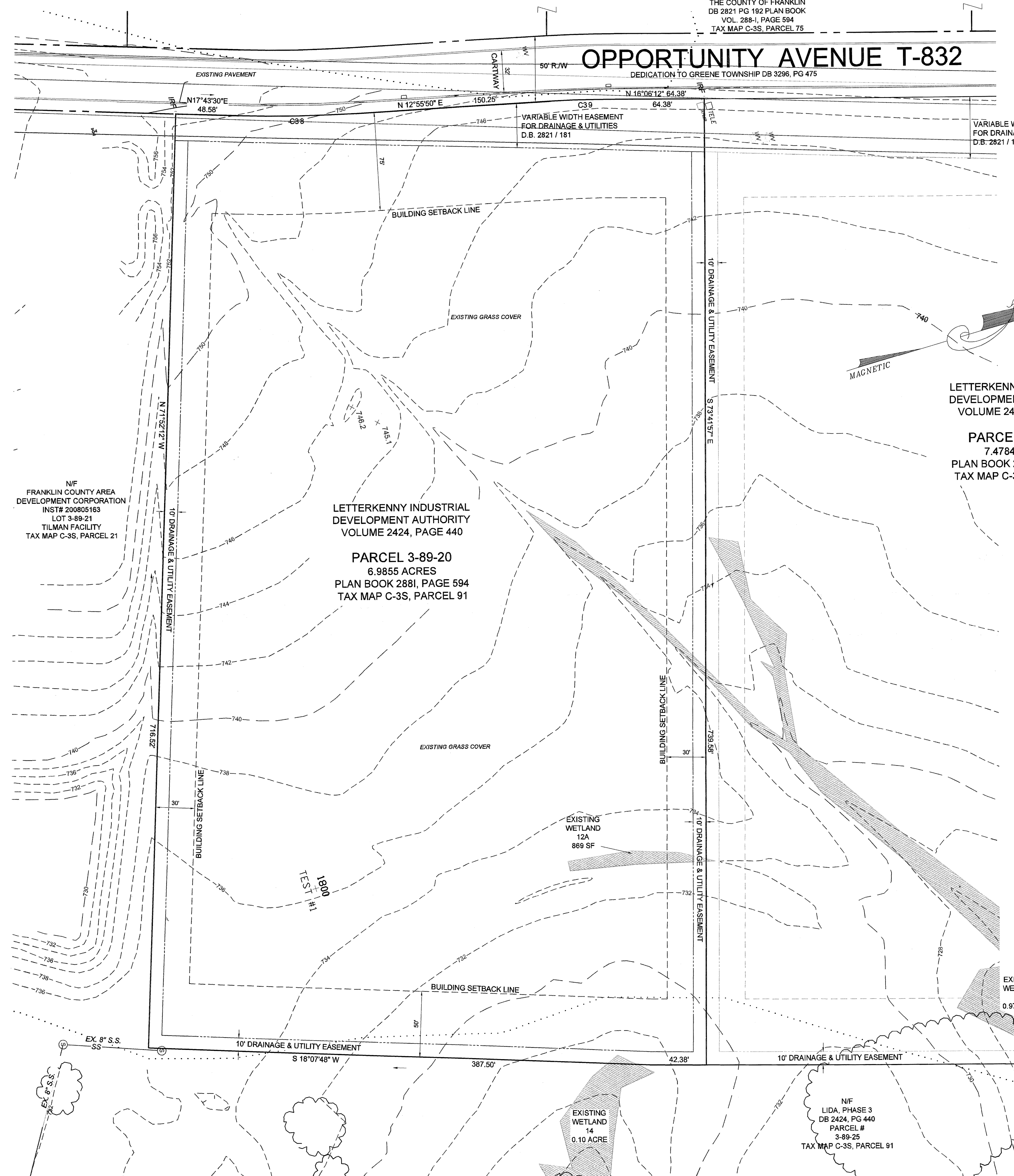
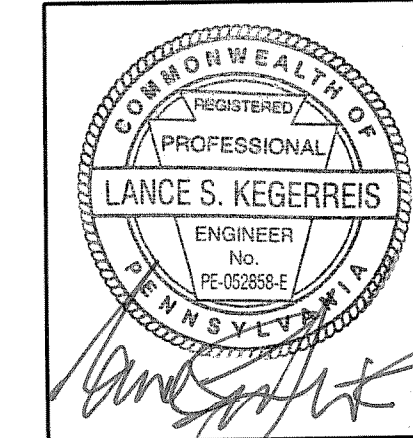
LOCATED IN
GREENE TOWNSHIP, FRANKLIN COUNTY, PA

DENNIS E. BLACK ENGINEERING, INCORPORATED
ENGINEERING—SURVEYING—PLANNING

2400 PHILADELPHIA AVENUE 222 NORTH SECOND STREET
CHAMBERSBURG, PA 17201 ◆ McCONNELLSBURG, PA 17233
(717)263-8794 (888)238-0661 (717)485-4028

DWN. CMA	CLIENT No.	ORDER No.	SHEET 2 OF 8
CHK. GA	3366	110129	DRAWING No.
APP. <i>DLK</i>	DATE 08/29/13	AutoCAD DRAWING REF. NUMBER	13-53
	SCALE 1"=40'	MARGIN	

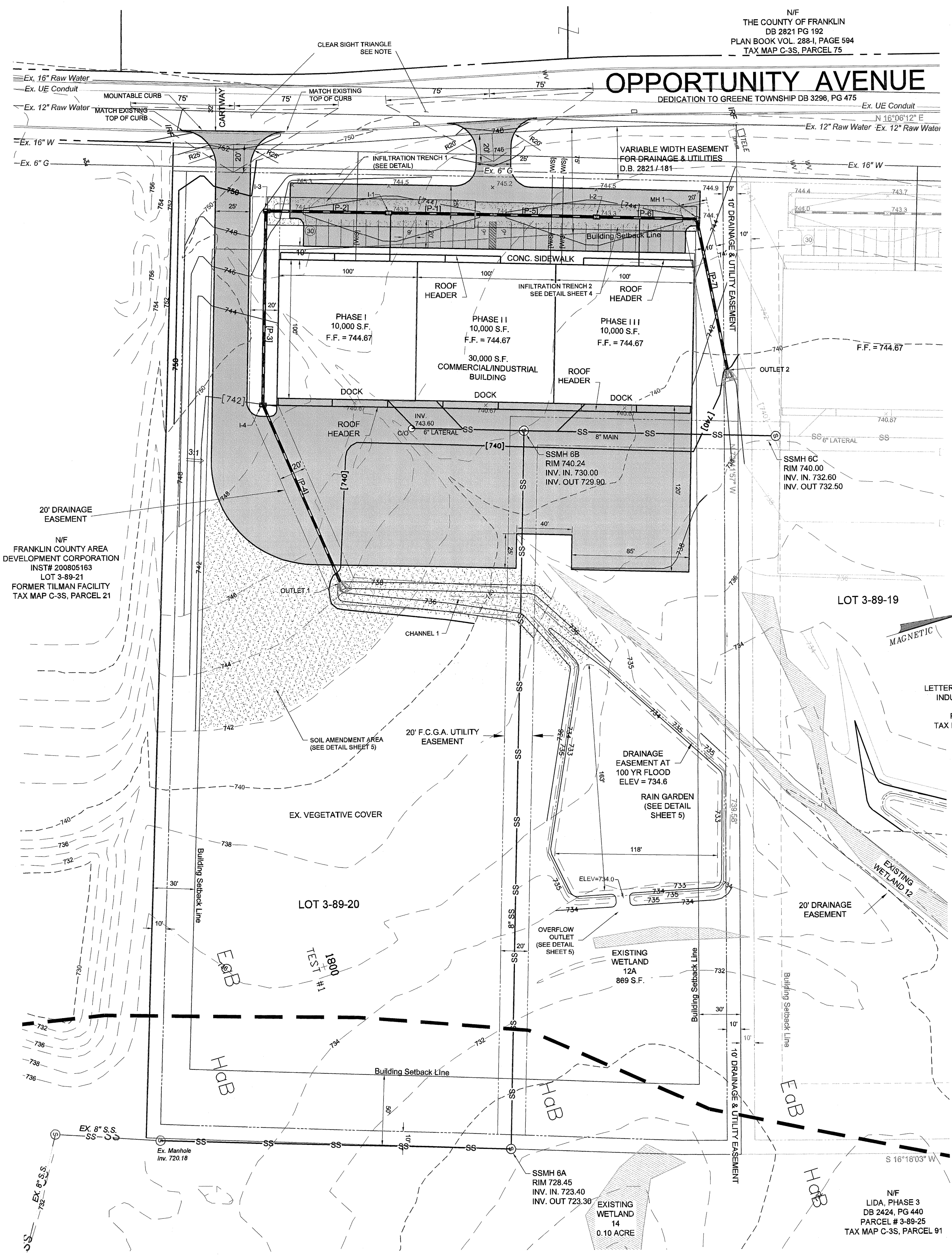
THE ORIGINAL DRAWING AND THE INFORMATION SHOWN THEREON ARE THE PROPERTY OF D. E. BLACK ENG., INC. AND SHALL NOT BE DUPLICATED WITHOUT WRITTEN PERMISSION



FILE: N:\Land Projects\2011110129_LIDA.dwg Sheet Files\10129_LIDA-ld20_Subdivision Plan_2.dwg LAYOUT: T-24x36_Existing Condition (2).BY: Gall/Abbott: ON: 11/29/2014 3:34 PM

N/F
THE COUNTY OF FRANKLIN
DB 2821 PG 192
PLAN BOOK VOL. 288-1 PAGE 594
TAX MAP C-3S, PARCEL 75

OPPORTUNITY AVENUE



ZONING DATA:

THIS SITE IS LOCATED IN THE **HEAVY INDUSTRIAL DISTRICT (HI)**.

MIN. LOT SIZE*	120,000 SQ. FT
MIN. LOT WIDTH	250 FT
MIN. LOT DEPTH	400 FT
MIN. FRONT YARD	75 FT
MIN. SIDE YARD	30 FT
MIN. REAR YARD	50 FT
MAX. LOT COVERAGE	65 PERCENT
(PROPOSED LOT COVERAGE = 30 PERCENT)	
MAX. BUILDING HEIGHT	45 FT

* MULTIPLE USE BUILDINGS ARE PERMITTED, PROVIDED THAT ADDITIONAL SPACE EQUAL TO 5% OF THE MINIMUM LOT SIZE REQUIREMENTS FOR EACH ADDITIONAL USE IS PROVIDED.

THIS SITE IS LOCATED IN **HORIZONTAL SURFACE AIRPORT ZONE**:

ALLOWABLE HEIGHT = (ESTABLISHED AIRPORT ELEVATION) + (150') - (GROUND ELEVATION).

PARKING TABULATION:

USE	MINIMUM PARKING
Wholesale establishment, warehouses, offices, businesses, and industrial facilities	1 space for each employee on average working shift or 1 space for each 1,000 square feet of floor area whichever is greater
30,000 S.F. Floor Area = 30 spaces	
2 Handicap Spaces Required	

SANITARY SEWER NOTE:

THE PROPOSED 8" SANITARY SEWER MAIN EXTENSION FROM THE EXISTING MANHOLE LOCATED AT THE SOUTH EAST CORNER OF LOT 3-89-20 TO PROPOSED SSMH 6C IS INTENDED TO BE DEDICATED AS A MAIN LINE, PUBLIC EXTENSION TO THE FRANKLIN COUNTY GENERAL AUTHORITY (F.C.G.A.); CONSTRUCTION OF THIS SANITARY SEWER SHALL BE IN ACCORDANCE WITH PREVAILING F.C.G.A. RULES AND REGULATIONS.

CLEAR SIGHT TRIANGLE:

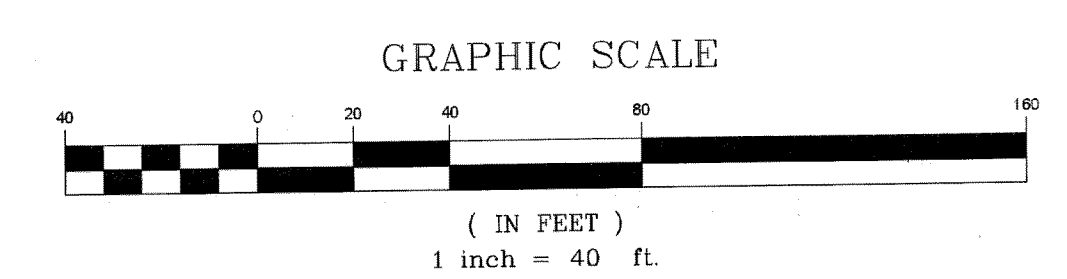
NO BUILDING OR OBSTRUCTION SHALL BE ERRECTED, PLACED, PLANTED OR ALLOWED TO GROW IN THE CLEAR SIGHT TRIANGLE THAT WOULD LIMIT OR OBSTRUCT THE SIGHT DISTANCE OF MOTORIST ENTERING OR LEAVING THE INTERSECTION.

CRITICAL STAGES OF POST CONSTRUCTION STORMWATER MANAGEMENT PLAN BMP IMPLEMENTATION

A LICENSED PROFESSIONAL OR DESIGNEE SHALL BE PRESENT ONSITE AND BE RESPONSIBLE FOR CONSTRUCTION INSPECTION DURING CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN.

THE CRITICAL STAGES OF IMPLEMENTATION AND THE CRITICAL TIME OF IMPLEMENTATION FOR THIS PROJECT INCLUDE THE FOLLOWING:

CRITICAL STAGE	CRITICAL TIME
INFILTRATION TRENCH	DURING CONSTRUCTION
RAIN GARDEN	DURING CONSTRUCTION

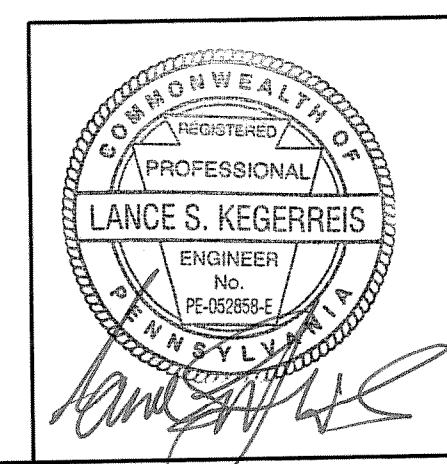


REVISIONS

NO.	DATE	DESCRIPTION	BY
2	1/22/14	Revised per FCCD/TWP Comments	GCA
1	11-18-2013	Revised per Township Comments	GCA

SITE GRADING AND PCSWM PLAN

**PRELIMINARY LAND DEVELOPMENT PLAN
PARCEL 3-89-20
CUMBERLAND VALLEY BUSINESS PARK
LOCATED IN
GREENE TOWNSHIP, FRANKLIN COUNTY, PA**

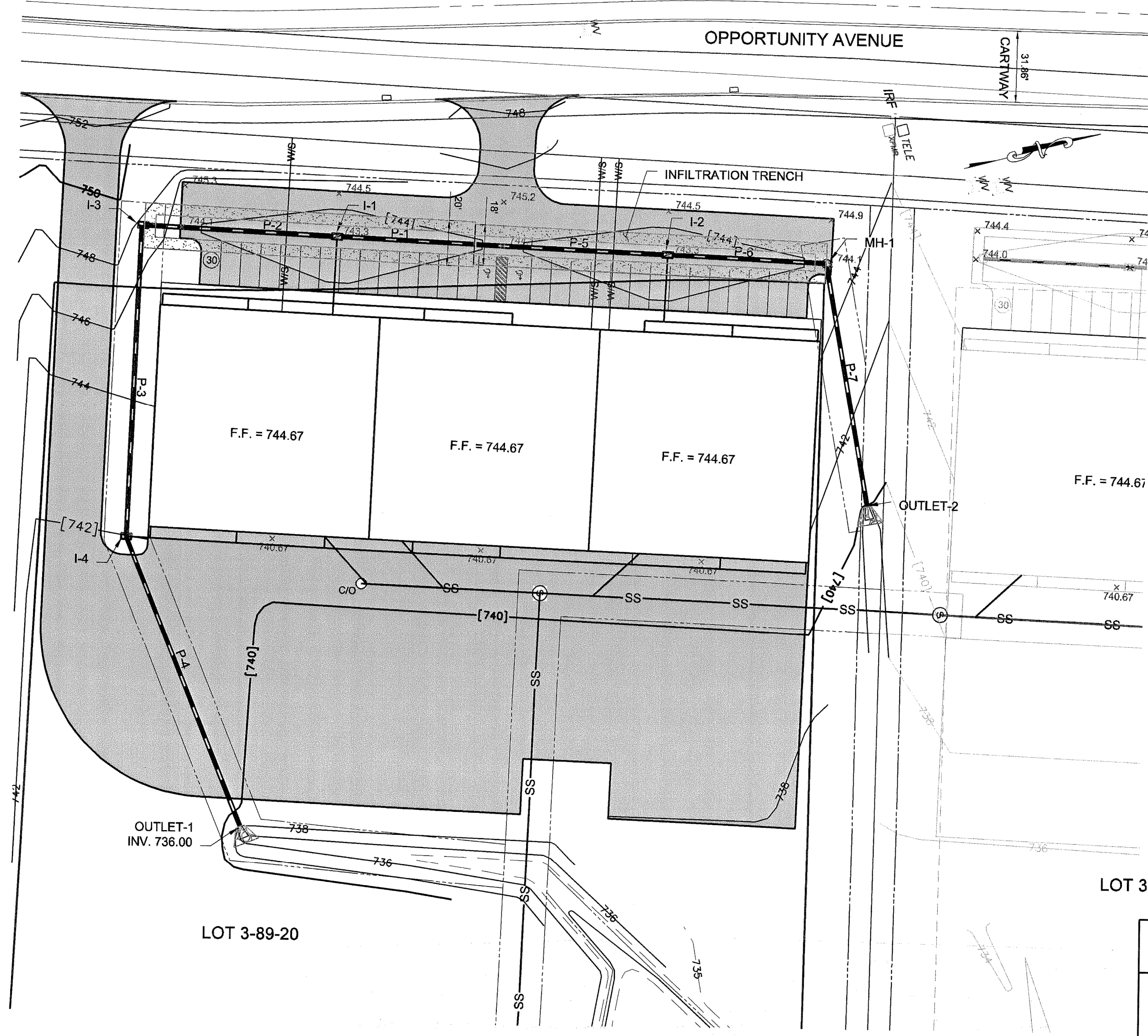


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DWN_CMA	CLIENT No. 3366	ORDER No. 110129	SHEET 3 OF 8
CHK_GA	DATE 08/29/13	AutoCAD DRAWING REF. NUMBER	DRAWING No. 13-53
APP.	SCALE 1"=40'	MARGIN	

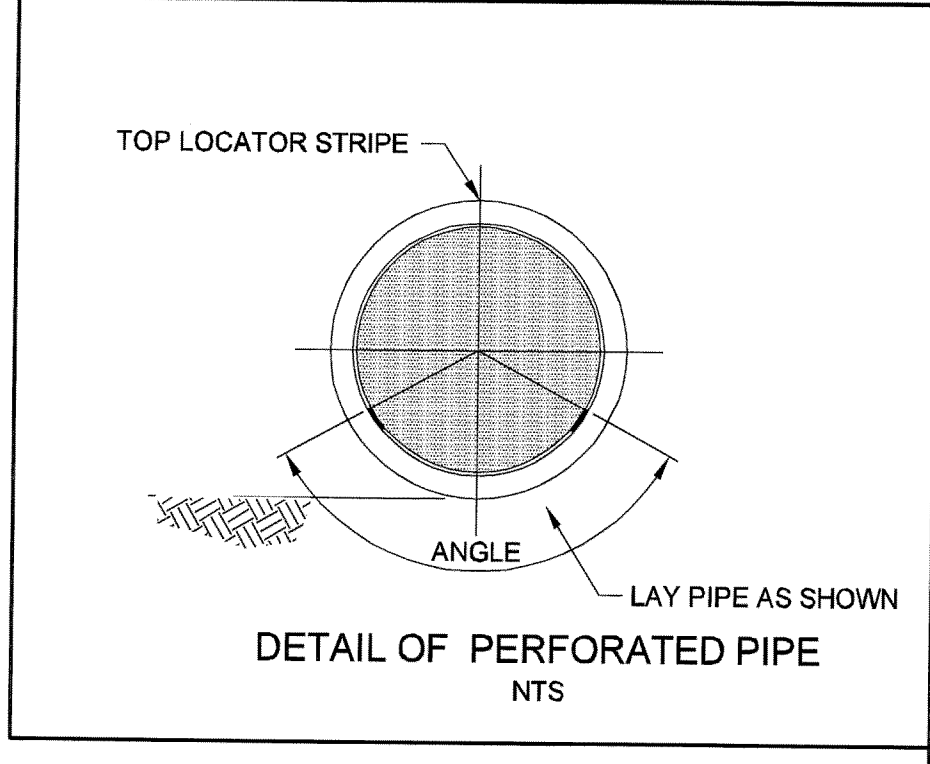
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FILE:\Land Projects\2011110128_LDA\dwg\Sheet Files\110128_LDA-ld20_Grad & Drain.dwg LAYOUT: Site Grading & PCSWM Plan (3). By: Gail Abbott. ON: 11/29/2014 3:54 PM

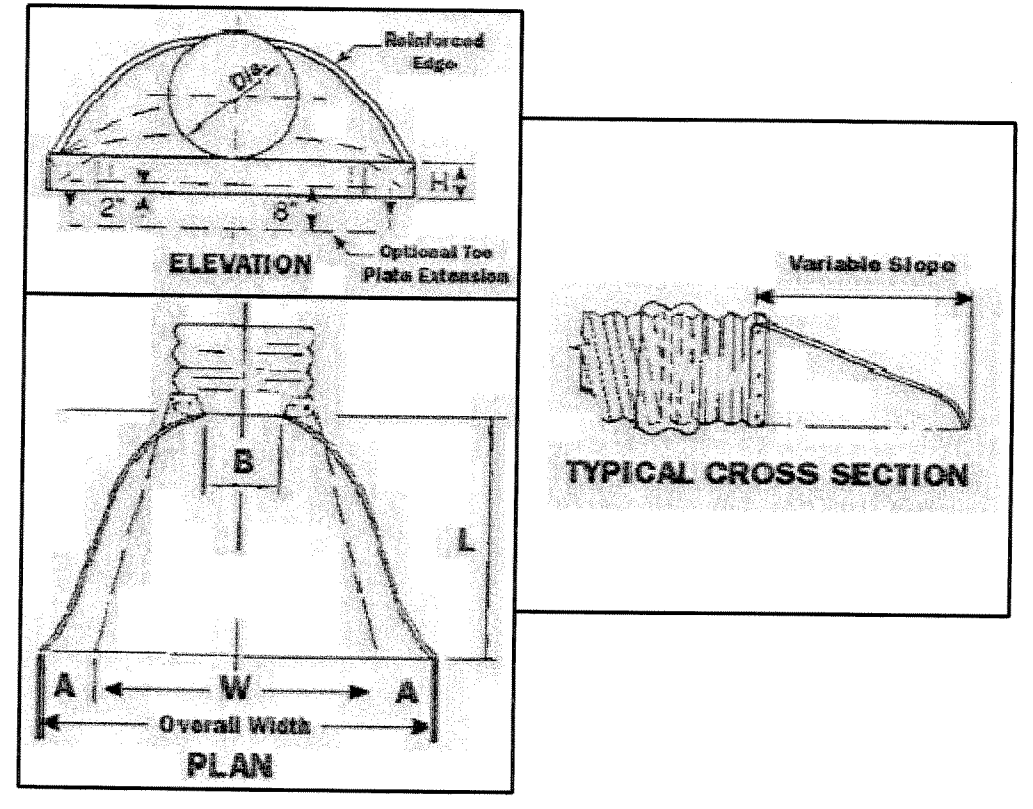


PLAN VIEW (PIPES P1 TO P7)

LOT 3-89-19
 PLAN
 1"=40' HORZ.
 PROFILE
 1"=40' HORZ.
 1"=4' VERT.



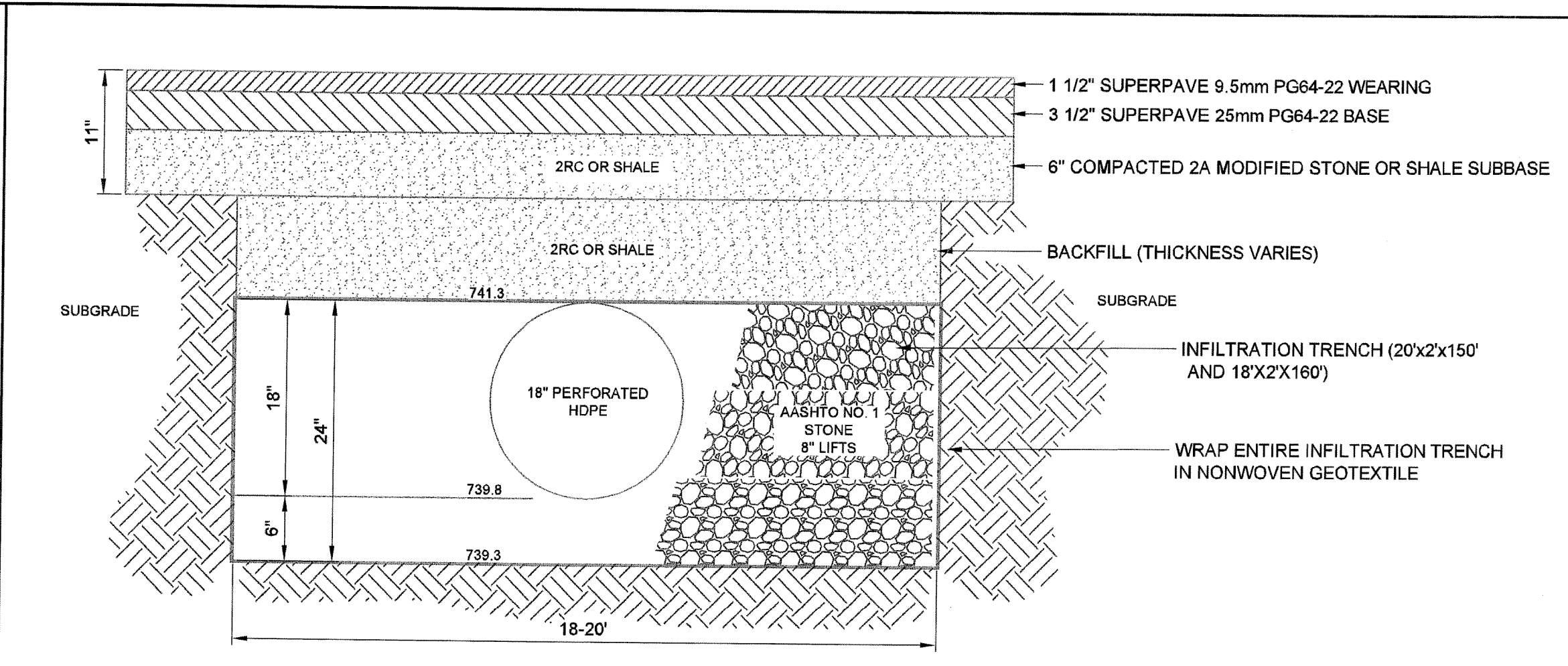
DETAIL OF PERFORATED PIPE
N.T.S.



TYPICAL CROSS SECTION
N.T.S.

DIA.	GAUGE	* A	* B	* H	* L	* W	* SLOPE	OVERALL WIDTH
18"	16	8"	10"	6"	31"	36"	2 1/2	52"
24"	16	10"	13"	6"	41"	48"	2 1/2	68"
30"	14	12"	16"	8"	51"	60"	2 1/2	84"

METAL END SECTION DETAIL
N.T.S.

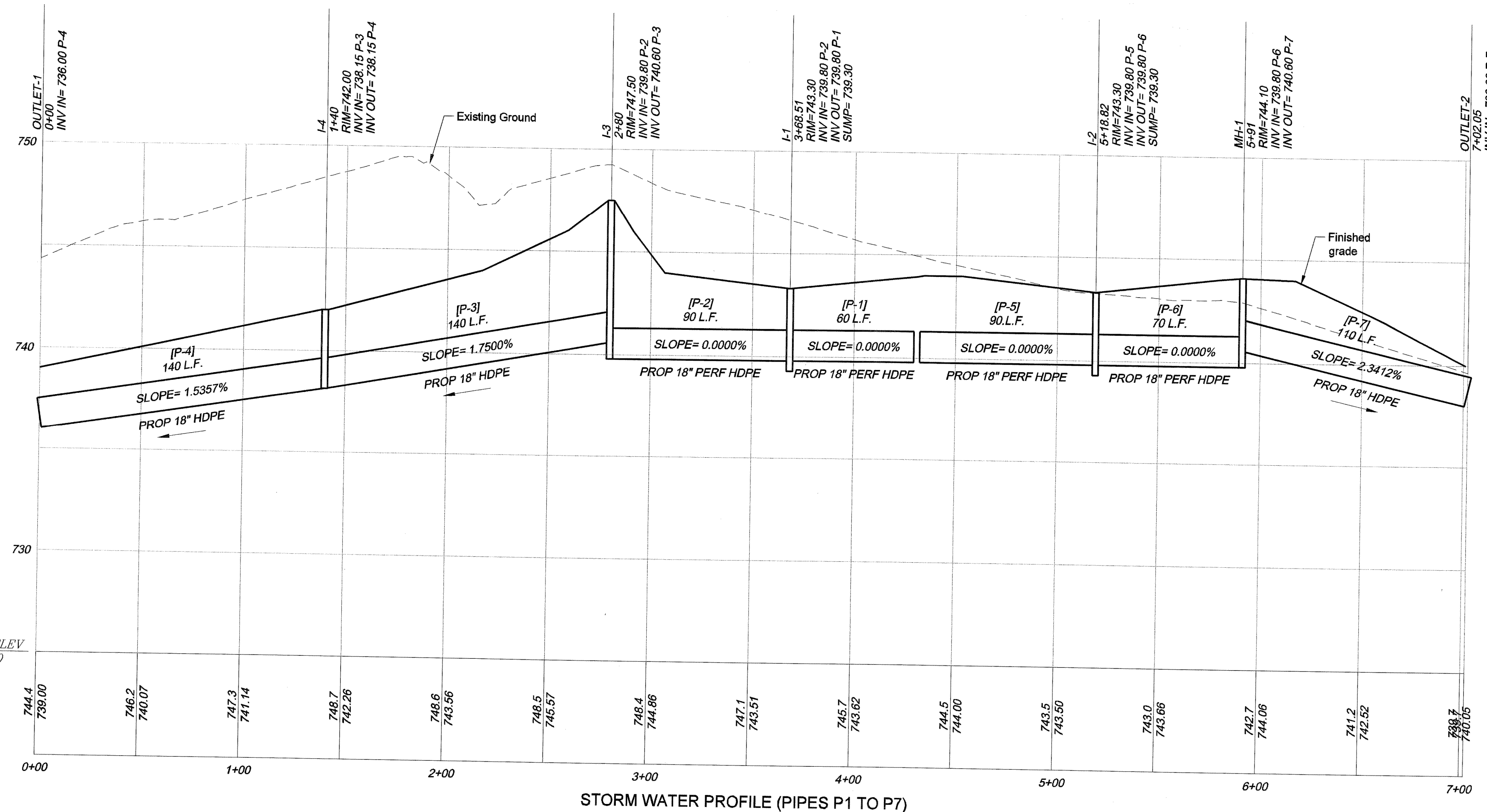


TYPICAL INFILTRATION TRENCH DETAIL
N.T.S.

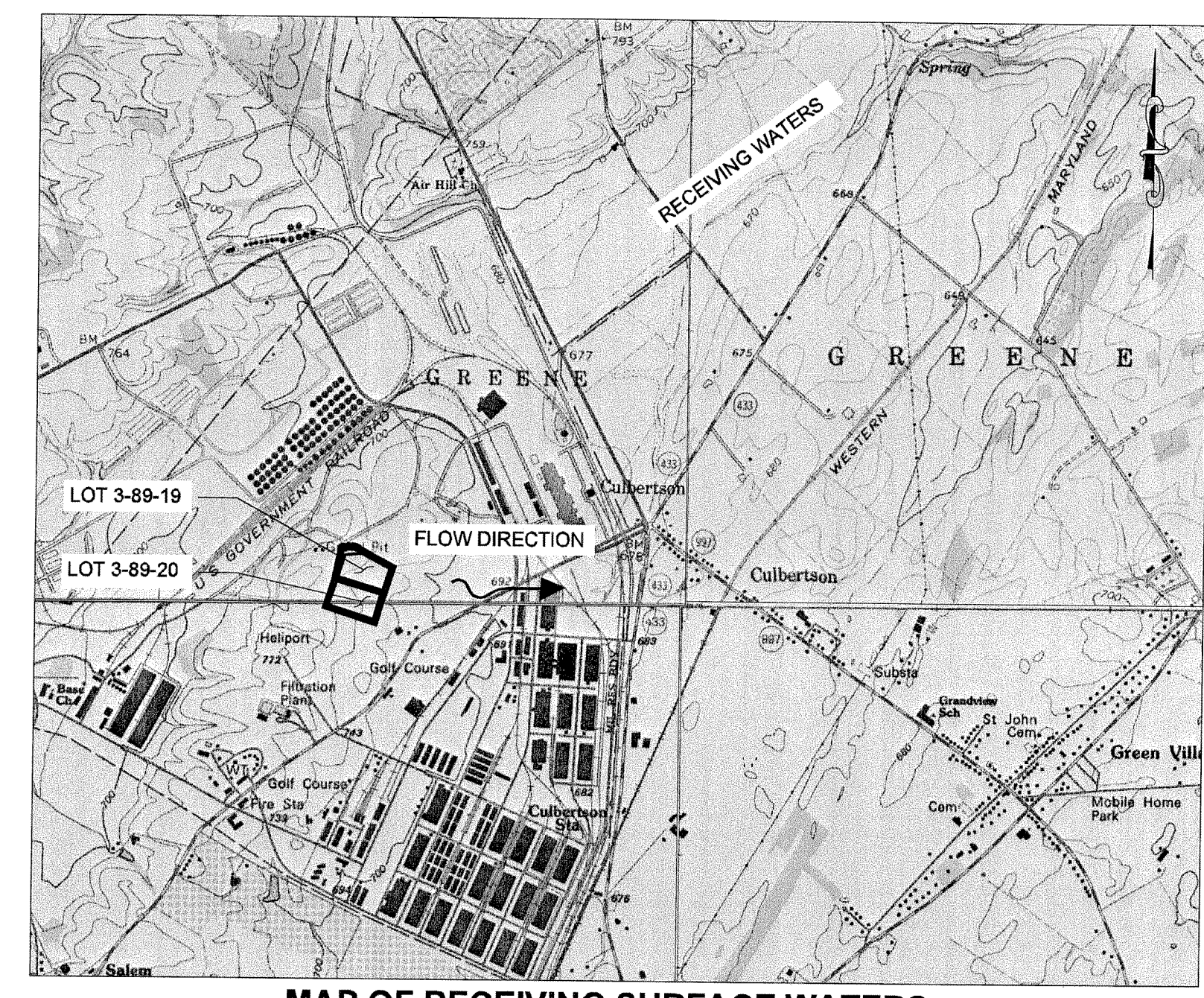
INFILTRATION TRENCH CONSTRUCTION NOTES

A LICENSED PROFESSIONAL OR DESIGNEE SHALL BE PRESENT ONSITE AND BE RESPONSIBLE FOR CONSTRUCTION INSPECTION OF THE INFILTRATION TRENCH DURING CONSTRUCTION.

1. Protect infiltration trench area from compaction prior to installation.
2. If possible, install infiltration trench during later phases of site construction to prevent sedimentation and/or damage from construction activity. After installation, prevent sediment laden water from entering inlets and pipes.
3. Install and maintain proper erosion and sediment control measures during construction.
4. Excavate infiltration trench bottom to a uniform, level uncompacted subgrade free from rocks and debris. Do not compact subgrade.
5. Place nonwoven geotextile along bottom and sides of trench. Nonwoven geotextile rolls should overlap by a minimum of 16 inches within the trench. Fold back and secure excess geotextile during stone placement.
6. Install upstream and downstream control structures, cleanouts, etc.
7. Place uniformly graded, clean-washed aggregate in 8-inch lifts, lightly compacting between lifts.
8. Install continuously perforated pipe as indicated on plans. Pipe shall be laid with the lowest end of the perforations equidistant from the bottom as shown on the detail. Install feed pipes from roof drains as indicated on the plans. Place 1" wire mesh over downstream ends of feeder pipes to prevent stone entry. Do not cover ends with geotextile. Temporarily cap the upstream ends of all feeder pipes until final connections are made to roof drains and inlets and site is fully stabilized. Backfill with uniformly graded, clean-washed aggregate in 8-inch lifts, lightly compacting between lifts.
9. Fold and secure nonwoven geotextile over infiltration trench, with minimum overlap of 16-inches.
10. Place backfill and pavement over infiltration trench, as indicated on plans.
11. Do not remove inlet protection or other erosion and sediment control measures until site is fully stabilized.
12. Any sediment that enters inlets during construction is to be removed within 24 hours.



STORM WATER PROFILE (PIPES P1 TO P7)



MAP OF RECEIVING SURFACE WATERS
1" = 2000'

O & M REQUIREMENTS FOR INFILTRATION TRENCH

1. CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED AT LEAST 2 TIMES PER YEAR.
2. SEDIMENT IN THE INLET SUMP SHOULD BE REMOVED WHEN THE DEPTH REACHES THE INVERT OF THE PIPES.

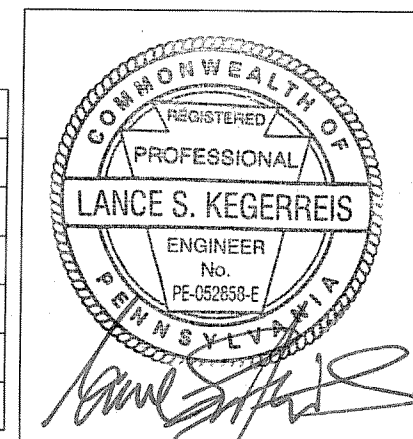
POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN
PROFILES & DETAILS

**PRELIMINARY LAND DEVELOPMENT PLAN
 PARCEL 3-89-20
 CUMBERLAND VALLEY BUSINESS PARK
 LOCATED IN
 GREENE TOWNSHIP, FRANKLIN COUNTY, PA**

DENNIS E. BLACK ENGINEERING, INCORPORATED
 ENGINEERING—SURVEYING—PLANNING
 2400 PHILADELPHIA AVENUE 222 NORTH SECOND STREET
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REVISIONS

NO.	DATE	DESCRIPTION	BY
2	1/22/14	Revised Labeling	GCA
1	12/13/13	Revised per FCCD Comments	GCA



DWN. CMA	CLIENT No. 3366	ORDER No. 110129	SHEET 4 OF 8
CHK. GA	DATE 08/29/13	AutoCAD DRAWING REF. NUMBER	DRAWING No.
APP. [Signature]	SCALE AS NOTED	MARGIN	13-53

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PCSWM CONSTRUCTION INSPECTION SCHEDULE

THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ENGINEER FOR INSPECTIONS OF THE STORM WATER MANAGEMENT SYSTEM DURING CONSTRUCTION. THE PROJECT ENGINEER OR HIS DESIGNEE SHALL INSPECT AT THE FOLLOWING STAGES:

- **INFILTRATION TRENCH** - SUBGRADE SCARIFICATION, PLACEMENT OF CLEAN STONE AGGREGATE, PLACEMENT OF UNDERDRAIN SYSTEM COMPONENTS
- **RAIN GARDEN** - SUBGRADE SCARIFICATION, PREPARATION AND PLACEMENT OF PLANTING AMENDED SOIL, EMBANKMENT CONSTRUCTION
- **SOIL AMENDED LAWN AREAS** - PLACEMENT OF SOIL AMENDMENTS

**Pennsylvania Department of Environmental Protection
Post Construction Stormwater Management (PCSM) Plan Standard Notes**

Permit Termination

Upon permanent stabilization of the earth disturbance activity under § 102.22(a)(2) (relating to permanent stabilization), and installation of BMPs in accordance with an approved plan prepared and implemented in accordance with § 102.4 and §102.8 (relating to erosion and sediment control requirements; and PCSM requirements), the permittee or co-permittee shall submit a notice of termination to the Department or conservation district.

The notice of termination must include:

- (1) The facility name, address and location.
- (2) The operator name and address.
- (3) The permit number.
- (4) The reason for permit termination.
- (5) Identification of the persons who have agreed to and will be responsible for long-term operation and maintenance of the PCSM BMPs in accordance with § 102.8(m) and proof of compliance with § 102.8(m)(2).

PCSM Requirements

PCSM reporting and recordkeeping. The PCSM Plan, inspection reports and monitoring records shall be available for review and inspection by the Department or the conservation district.

Licensed professional oversight of critical stages. A licensed professional or a designee shall be present onsite and be responsible during critical stages of implementation of the approved PCSM Plan. The critical stages may include the installation of underground treatment or storage BMPs, structurally engineered BMPs, or other BMPs as deemed appropriate by the Department or the conservation district.

Final certification. The permittee shall include with the notice of termination "Record Drawings" with a final certification statement from a licensed professional, which reads as follows:

"I (name) do hereby certify pursuant to the penalties of 18 Pa.C.S.A. § 4904 to the best of my knowledge, information and belief, that the accompanying record drawings accurately reflect the as-built conditions, are true and correct, and are in conformance with Chapter 102 of the rules and regulations of the Department of Environmental Protection and that the project site was constructed in accordance with the approved PCSM Plan, all approved plan changes and accepted construction practices."

- (1) The permittee shall retain a copy of the record drawings as a part of the approved PCSM Plan.
- (2) The permittee shall provide a copy of the record drawings as a part of the approved PCSM Plan to the person identified in this section as being responsible for the long-term operation and maintenance of the PCSM BMPs.

PCSM Long Term Operations and Maintenance Requirements

Until the permittee or co-permittee has received written approval of a notice of termination, the permittee or co-permittee will remain responsible for compliance with the permit terms and conditions including long-term operation and maintenance of all PCSM BMPs on the project site and is responsible for violations occurring on the project site. The Department or conservation district will conduct a final inspection and approve or deny the notice of termination within 30 days.

The permittee or co-permittee shall be responsible for long-term operation and maintenance of PCSM BMPs unless a different person is identified in the notice of termination and has agreed to long-term operation and maintenance of PCSM BMPs.

For any property containing a PCSM BMP, the permittee or co-permittee shall record an instrument with the recorder of deeds which will assure disclosure of the PCSM BMP and the related obligations in the ordinary course of a title search of the subject property. The recorded instrument must identify the PCSM BMP, provide for necessary access related to long-term operation and maintenance for PCSM BMPs and provide notice that the responsibility for long-term operation and maintenance of the PCSM BMP is a covenant that runs with the land that is binding upon and enforceable by subsequent grantees, and provide proof of filing with the notice of termination under § 102.7(b)(5) (relating to permit termination).

The person responsible for performing long-term operation and maintenance may enter into an agreement with another person including a conservation district, nonprofit organization, municipality, authority, private corporation or other person, to transfer the responsibility for PCSM BMPs or to perform long-term operation and maintenance and provide notice thereof to the Department.

A permittee or co-permittee that fails to transfer long-term operation and maintenance of the PCSM BMP or otherwise fails to comply with this requirement shall remain jointly and severally responsible with the landowner for long-term operation and maintenance of the PCSM BMPs located on the property.

MAINTENANCE REQUIREMENTS FOR POST-CONSTRUCTION STORMWATER MANAGEMENT BMP'S

INFILTRATION TRENCH

1. CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED AT LEAST 2 TIMES PER YEAR.
2. SEDIMENT IN THE INLET SUMP SHOULD BE REMOVED WHEN THE DEPTH REACHES THE INVERT OF THE PIPES.

STORM DRAINS AND INLET FILTERS

1. INSPECT INLETS AFTER EACH SIGNIFICANT RAINFALL EVENT AND REMOVE ANY ACCUMULATED TRASH OR DEBRIS FROM THE GRATES.
2. REMOVE ANY TRASH OR SEDIMENT FOUND FROM INLET BOXES AND OUTLET PIPES.
3. INSPECT STORM DRAIN MANHOLES BI-ANNUALLY AND REMOVE ANY TRASH, DEBRIS, SEDIMENT, ETC.

SOIL AMENDMENT AREAS

1. IF THE SOIL AMENDMENT AREA BECOMES SEVERELY COMPACTED OVER TIME, THE SOIL PERMEABILITY MAY NEED TO BE RESTORED BY RIPPING, SUBSOILING, TILLING AND/OR SCARIFICATION.

RAIN GARDEN

1. FOLLOW THE SEED MANUFACTURER'S INSTRUCTIONS WITH REGARD TO INITIAL IRRIGATION AND MAINTENANCE OF THE SEEDED AREAS TO ESTABLISH GOOD VEGETATIVE COVER.
2. THE RAIN GARDEN POOL AREA SHOULD ONLY BE MOWED DURING THE DORMANT SEASON. MOWERS SHOULD BE SET TO PREVENT CUTTING CLOSER THAN 8 INCHES.
3. THE EMBANKMENT AND OUTER SLOPES SHOULD BE MOWED AS NEEDED TO MAINTAIN A NOMINAL GRASS HEIGHT OF 8 TO 12 INCHES. MOWERS SHOULD BE SET TO PREVENT CUTTING CLOSER THAN 6 INCHES.

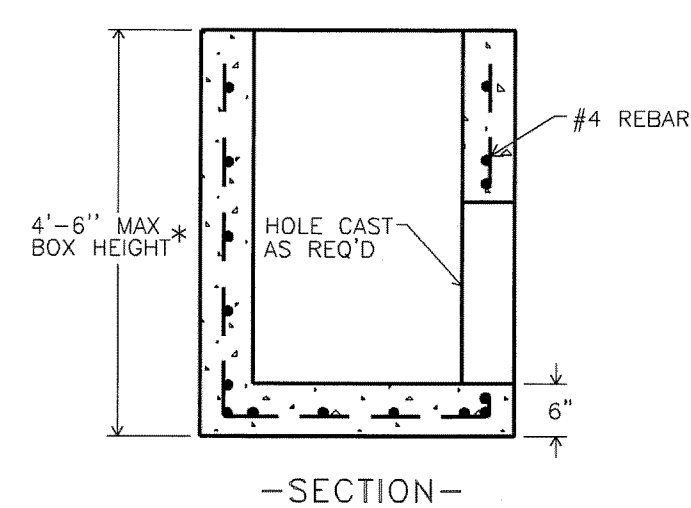
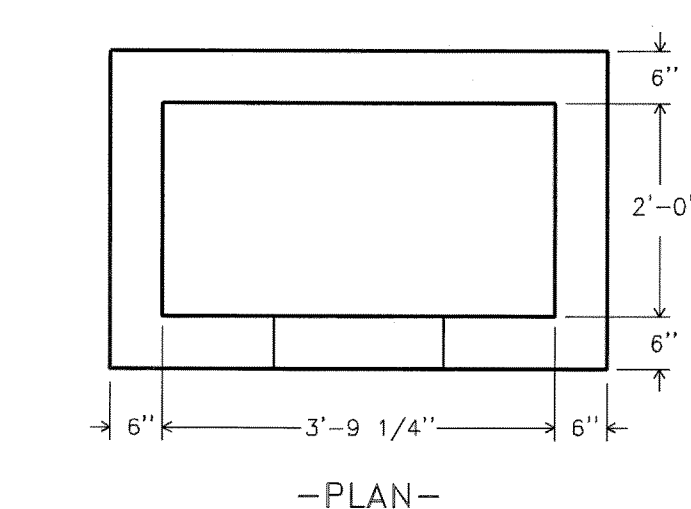
CHANNELS

1. INSPECT AND CORRECT EROSION PROBLEMS, DAMAGE TO VEGETATION, AND SEDIMENT AND DEBRIS ACCUMULATION (ADDRESS WHEN > 3 INCHES AT ANY SPOT OR COVERING VEGETATION).
2. MOW AND TRIM VEGETATION TO ENSURE SAFETY, AESTHETICS, PROPER CHANNEL OPERATION, OR TO SUPPRESS WEEDS AND INVASIVE VEGETATION. MOW ONLY WHEN CHANNEL IS DRY TO AVOID RUTTING.

MAINTENANCE RESPONSIBILITY

THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN THE INSTALLED POST-CONSTRUCTION STORM WATER MANAGEMENT FACILITIES UNTIL CONSTRUCTION HAS BEEN COMPLETED. AFTER COMPLETION OF CONSTRUCTION, THE PROPERTY DEVELOPER, FRANKLIN COUNTY AREA DEVELOPMENT CORPORATION, SHALL BE RESPONSIBLE FOR SAID MAINTENANCE UNTIL SUCH TIME AS MAINTENANCE RESPONSIBILITIES FOR SPECIFIC STORM WATER MANAGEMENT FACILITIES ARE TRANSFERRED TO BUYERS, LESSEES, OR A THIRD PARTY MAINTENANCE COMPANY.

PROPERTY DEVELOPER CONTACT INFORMATION:
FRANKLIN COUNTY AREA DEVELOPMENT CORPORATION
1900 WAYNE ROAD
CHAMBERSBURG, PA 17202
(717) 263-8282



* RISER SECTIONS AVAILABLE FROM 2" TO 48"

PRECAST INLET BOX 24" X 45" FOR PENNDOT INLET TOPS

DWG. I-8

PENNDOT TYPE M CONCRETE INLET TOP

DWG. I-2

SOIL AMENDMENT SPECIFICATIONS

TILLING

APPLICATION OF SOIL AMENDMENTS SHALL REQUIRE RIPPING, SUBSOILING, TILLING AND/OR SCARIFICATION BEFORE THE REPLACEMENT OF TOPSOIL AS FOLLOWS:

1. PERFORM SUBSOILING ON DRY SOILS.
2. RIPPING, SUBSOILING, OR SCARIFICATION OF THE SUBSOIL SHOULD BE PERFORMED WHERE SUBSOIL HAS BECOME COMPACTED BY EQUIPMENT OPERATION, DRIED OUT AND CRUSTED, OR WHERE NECESSARY TO OBLITERATE EROSION RILLS.
3. RIPPING (SUBSOILING) SHOULD BE PERFORMED USING A SOLID-SHANK RIPPER TO A DEPTH OF 20 INCHES (8 INCHES FOR MINOR COMPACTION).
4. SUBSOILING SHOULD NOT BE PERFORMED WITH COMMON TILLAGE TOOLS SUCH AS A DISC OR CHISEL PLOW BECAUSE THEY ARE TOO SHALLOW AND CAN COMPACT THE SOIL JUST BENEATH THE TILLAGE DEPTH.
5. BULK DENSITY FIELD TESTS MAY BE USED TO DETERMINE THE COMPACTION LEVEL OF SOILS. TABLE 1 BELOW SHOWS THE BULK DENSITIES TO BE ACHIEVED BY AMENDMENT MEASURES.

TABLE 1. BULK DENSITIES

SOIL TEXTURE	BULK DENSITY (g/cm ³)
Sandy, loamy sands	< 1.69
Sandy loams, loams	< 1.63
Sandy clay loams, loams, clay loams	< 1.60
Silt, silt loams	< 1.60
Silt, loams, silty clay loams	< 1.55
Sandy clays, silty clays, some clay loams	< 1.49
Clays (>45% clay)	< 1.39

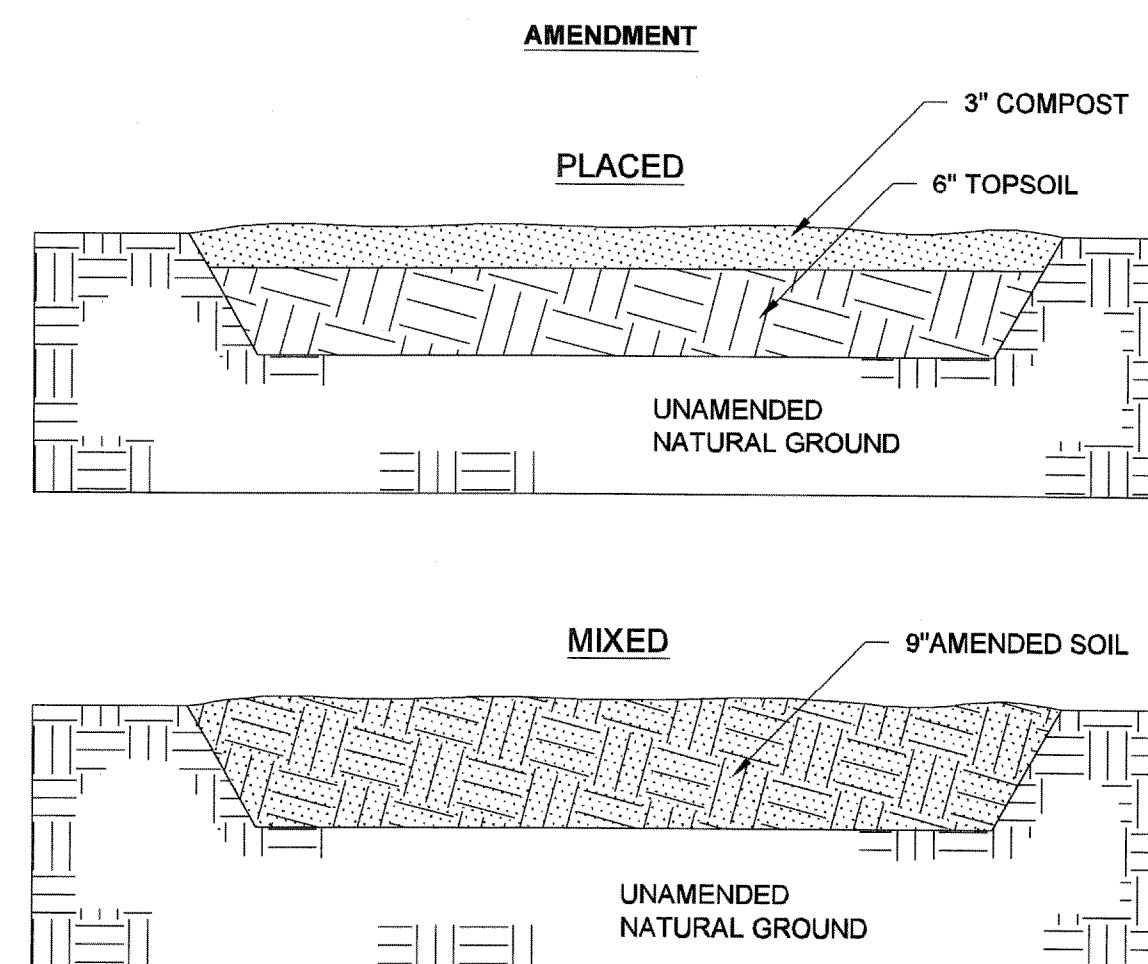
AMENDMENT

ALL TOPSOIL WITHIN DESIGNATED SOIL AMENDMENT AREAS SHALL BE RESTORED TO A DEPTH OF 9 INCHES IN ACCORDANCE WITH SECTION 6.7.3 OF THE LATEST EDITION OF THE PENNSYLVANIA STORMWATER BEST MANAGEMENT PRACTICES MANUAL.

ADDITIONAL ORGANIC MATERIAL SHALL BE ADDED TO THE TOPSOIL AND MAY INCLUDE COMPOST, MULCH, MANURES, SAND, OR MANUFACTURED MICROBIAL SOLUTIONS. AFTER FINE GRADING HAS BEEN COMPLETED, SOIL AMENDMENT MEDIA SHALL BE APPLIED TO THE ONSITE TOPSOIL MIXTURE AT A RATE OF 1 PART AMENDMENT MEDIA TO 2 PARTS TOPSOIL. IF A PROPRIETARY PRODUCT IS USED, THE MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED IN TERMS OF MIXING AND APPLICATION RATE. APPLICATIONS OF SOIL AMENDMENT MEDIA SHALL BE PERFORMED VIA THE FOLLOWING PROCEDURE:

1. TILL AND PREPARE THE SUBGRADE AS ABOVE AND REMOVE ROCKS.
2. APPLY 6 INCHES OF TOPSOIL TO SUBGRADE.
3. APPLY 3 INCHES OF SOIL AMENDMENT MEDIA TO TOPSOIL SURFACE.
4. TILL TOPSOIL AND AMENDMENT MEDIA TO CREATE A UNIFORM MIXTURE TO A DEPTH OF 9 INCHES USING A ROTOTILLER, SOLID-SHANK RIPPER OR SIMILAR DEVICE.
5. SEED AND MULCH IN ACCORDANCE WITH THE PERMANENT COVER SPECIFICATIONS PROVIDED ON THE APPROVED SOIL EROSION AND SEDIMENTATION CONTROL PLAN.
6. AS AN ALTERNATIVE, SOIL AMENDMENT MEDIA MAY BE MIXED WITH THE TOPSOIL WITHIN THE TOPSOIL STOCKPILES PRIOR TO PLACEMENT.

SOIL AMENDMENT SPECIFICATIONS



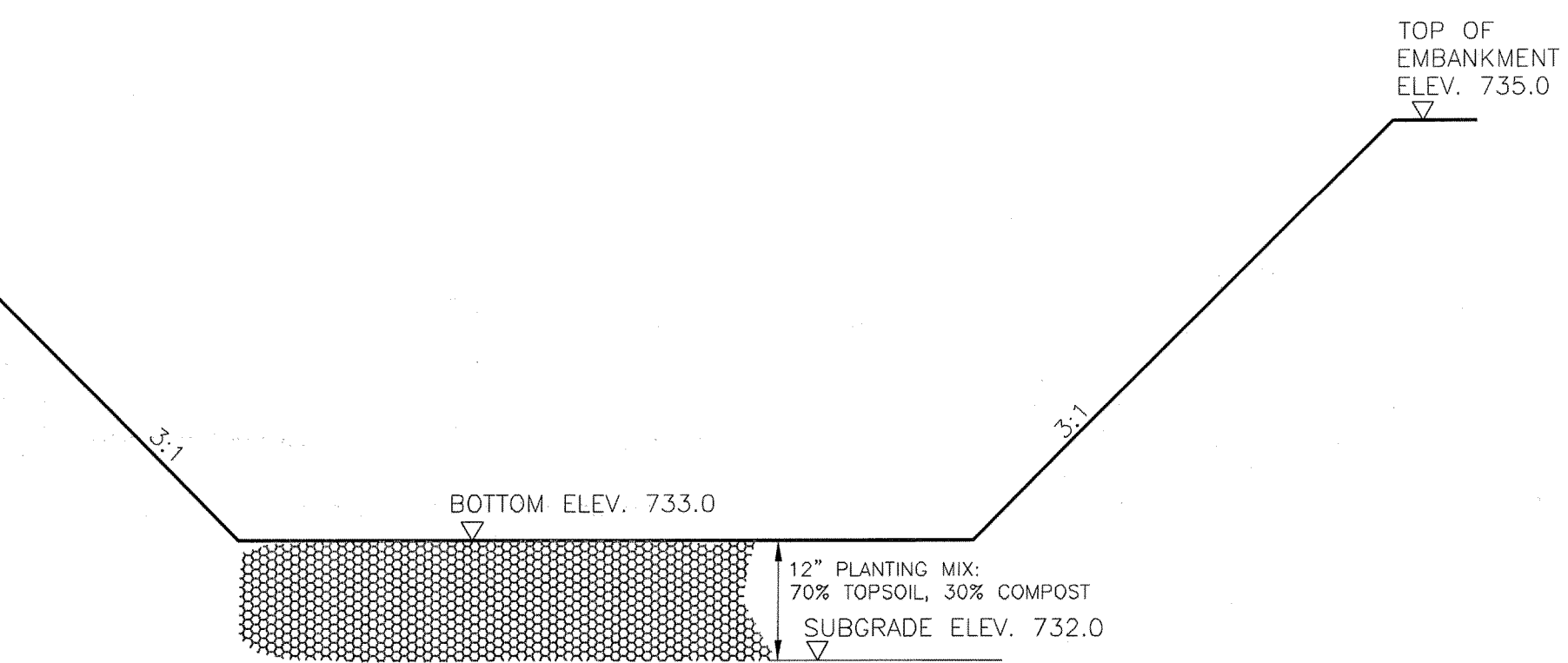
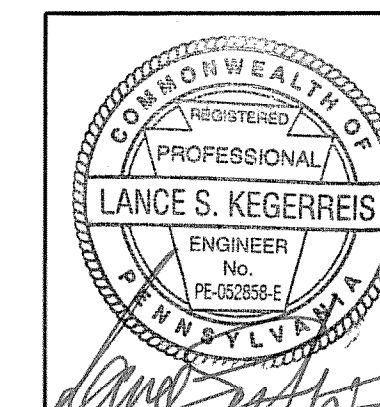
RAIN GARDEN CONSTRUCTION NOTES

A LICENSED PROFESSIONAL OR DESIGNEE SHALL BE PRESENT ONSITE AND BE RESPONSIBLE FOR CONSTRUCTION INSPECTION OF THE RAIN GARDEN DURING CONSTRUCTION.

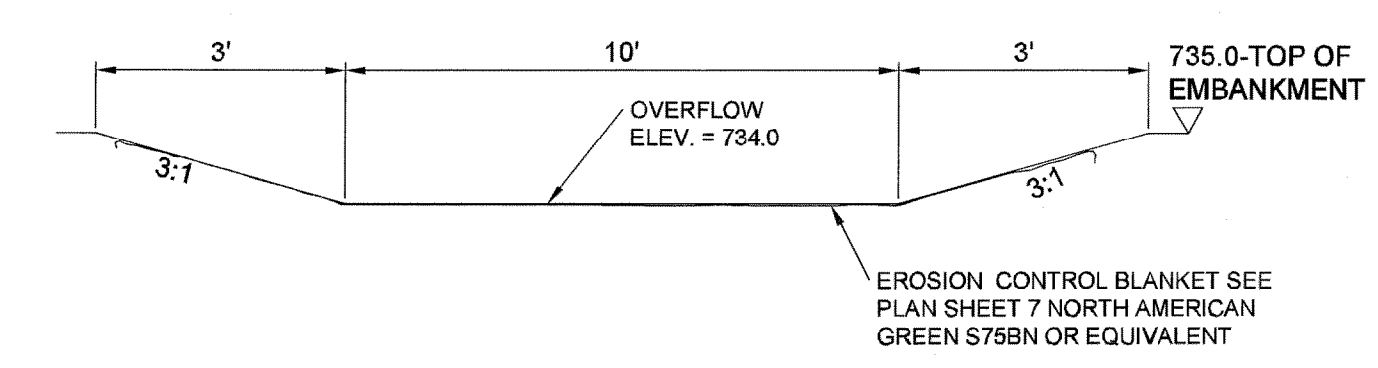
1. STABILIZE GRADING WITHIN THE LIMIT OF DISTURBANCE EXCEPT WITHIN THE RAIN GARDEN AREA. RAIN GARDEN BED AREAS MAY BE USED AS TEMPORARY SEDIMENT TRAPS PROVIDED THAT THE PROPOSED FINISH ELEVATION OF THE RAIN GARDEN IS 12 INCHES LOWER THAN THE BOTTOM ELEVATION OF THE SEDIMENT TRAP.
2. EXCAVATE RAIN GARDEN TO ONE FOOT BELOW FINISHED GRADE AND SCARIFY THE EXISTING SOIL SURFACES. AVOID UNDUE COMPACTION OF IN-SITU SOILS. ANY FILL FOR SIDE SLOPES SHALL BE CONSTRUCTED OF CLEAN EARTH WITH A HIGH CLAY CONTENT THAT IS FREE OF ROCKS, WOOD AND OTHER DEBRIS.
3. PLACE APPROVED PLANTING SOIL OF 70% TOPSOIL AND 30% COMPOST TO A MINIMUM DEPTH OF 12" COVERING THE BOTTOM OF THE RAIN GARDEN. PLANTING SOIL MAY BE PRESOAKED PRIOR TO PLANTING VEGETATION TO AID IN SETTLEMENT.
4. PLANT THE BOTTOM AND SIDES OF THE RAIN GARDEN UP TO THE TOP OF THE EMBANKMENT ELEVATION WITH ENRMX-180 RAIN GARDEN MIX BY ERNST SEED COMPANY (OR EQUAL). FOLLOW THE MANUFACTURER'S INSTRUCTIONS WITH REGARD TO SOIL TESTING, PLANTING AND IRRIGATION OF THE SEEDBED. SEED AT A RATE OF 1/2 LB. PER 1,000 SQUARE FEET.
5. INSTALL TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES AND PLANT THE OUTER SIDE SLOPES AND THE TOP OF THE EMBANKMENT WITH PERMANENT COVER SEED MIXTURE AS SPECIFIED ON THE SOIL EROSION & SEDIMENTATION CONTROL PLAN.
6. VEGETATION MAY BE WATERED AT THE END OF EACH DAY FOR UP TO TWO WEEKS AFTER PLANTING TO ESTABLISH VEGETATION.

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	1/22/14	Revised per FCCD Comments	GCA



TYPICAL SECTION THRU RAIN GARDEN



RAIN GARDEN OVERFLOW DETAIL

N.T.S.

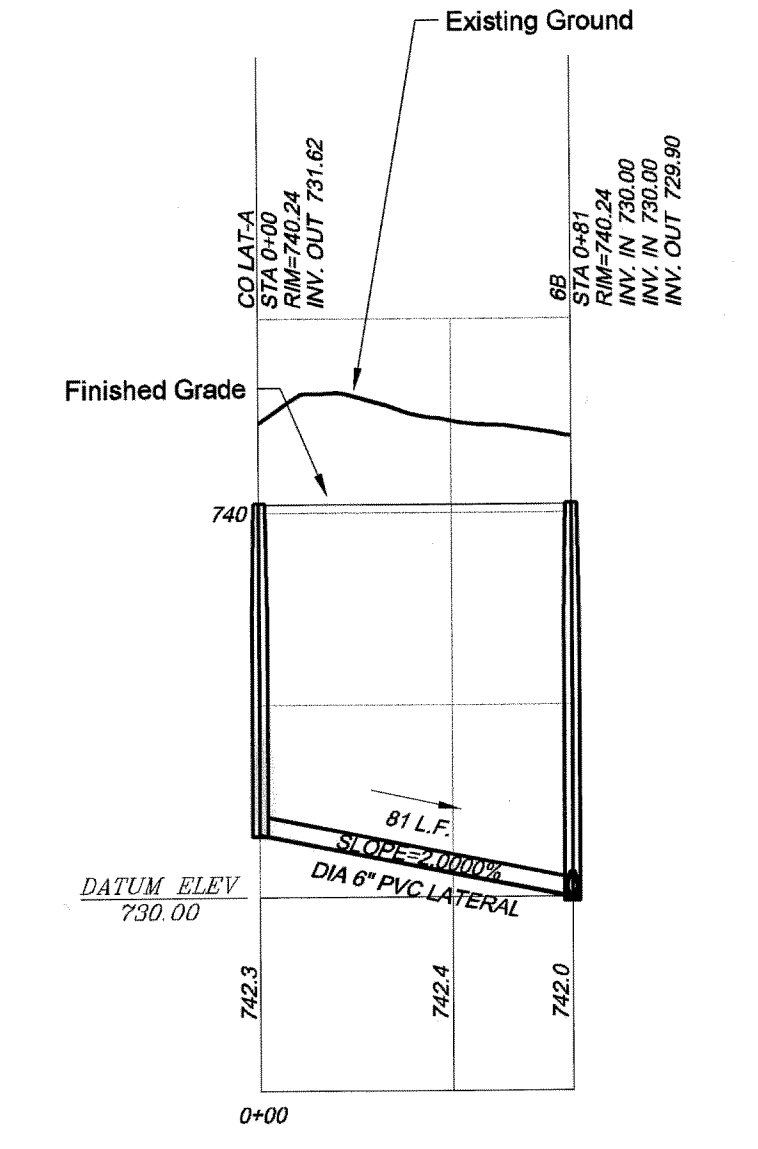
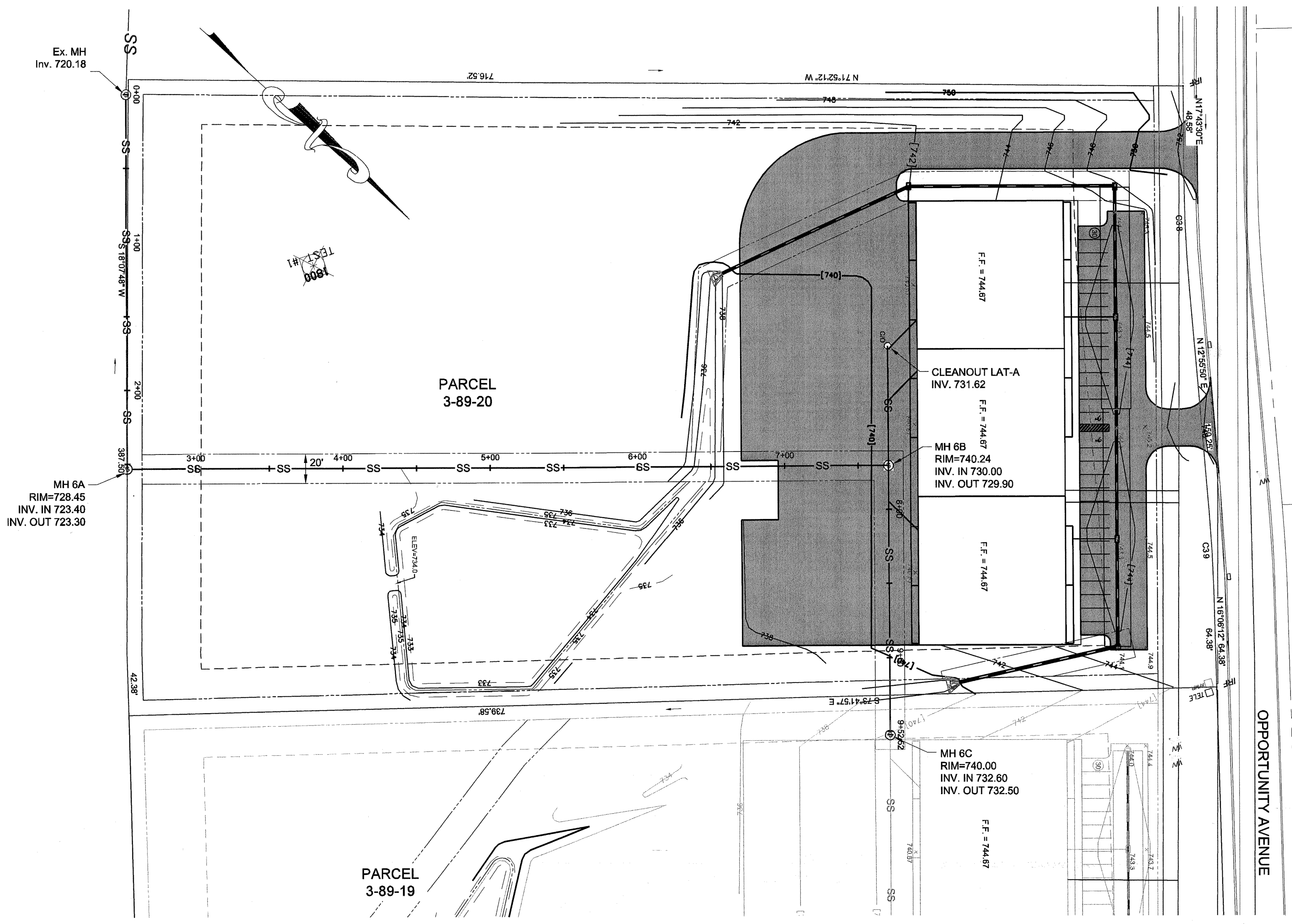
POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN PROFILES & DETAILS

**PRELIMINARY LAND DEVELOPMENT PLAN
PARCEL 3-89-20
CUMBERLAND VALLEY BUSINESS PARK**
LOCATED IN
GREENE TOWNSHIP, FRANKLIN COUNTY, PA

DENNIS E. BLACK ENGINEERING, INCORPORATED
ENGINEERING - SURVEYING - PLANNING
2400 PHILADELPHIA AVENUE 222 NORTH SECOND STREET
CHAMBERSBURG, PA 17201 McCONNELLSBURG, PA 17233
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CHK. GA	DATE 08/29/13	AutoCAD DRAWING REF. NUMBER	DRAWING No. 13-53
APP. [Signature]	SCALE AS NOTED	MARGIN	

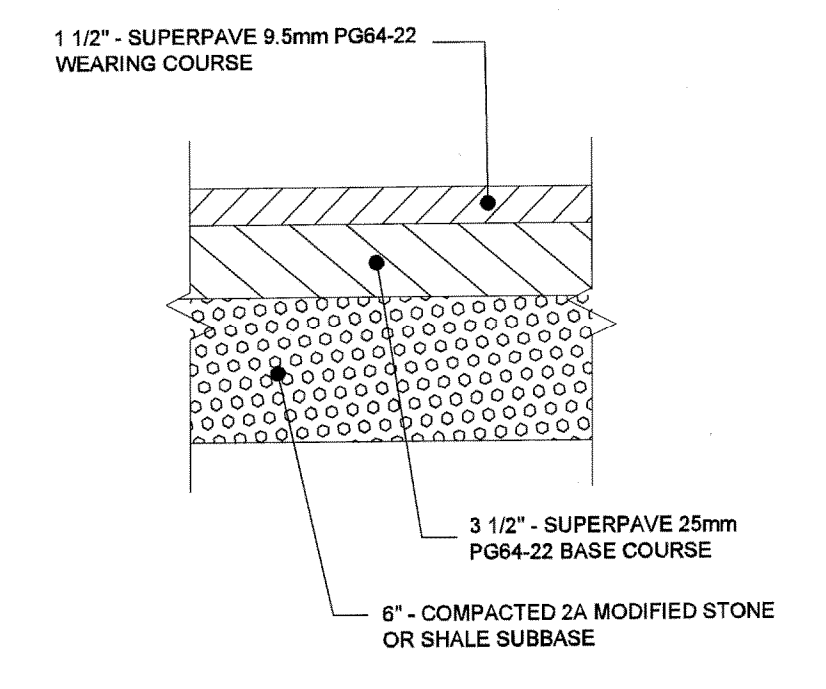
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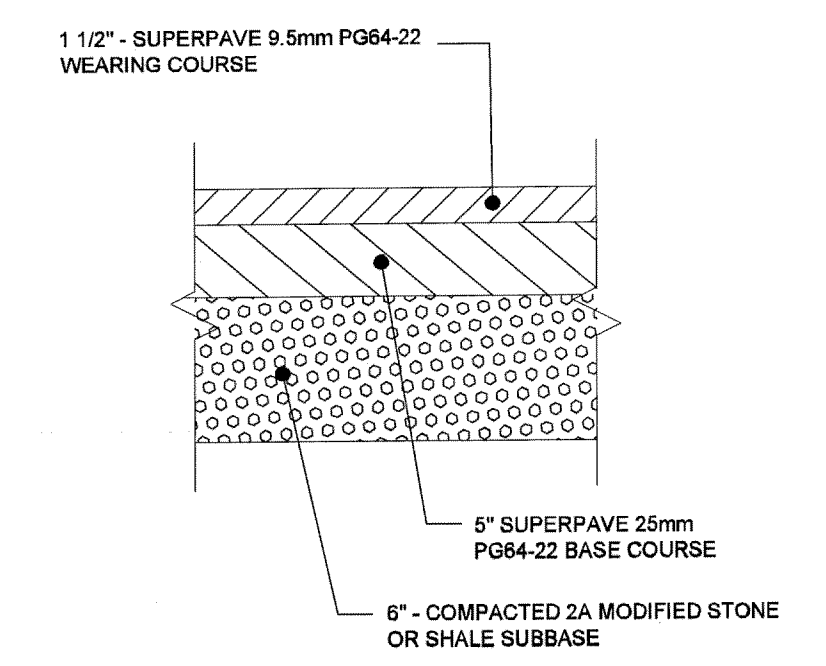
6" SANITARY SEWER LATERAL PROFILE

SANITARY SEWER CONSTRUCTION NOTES

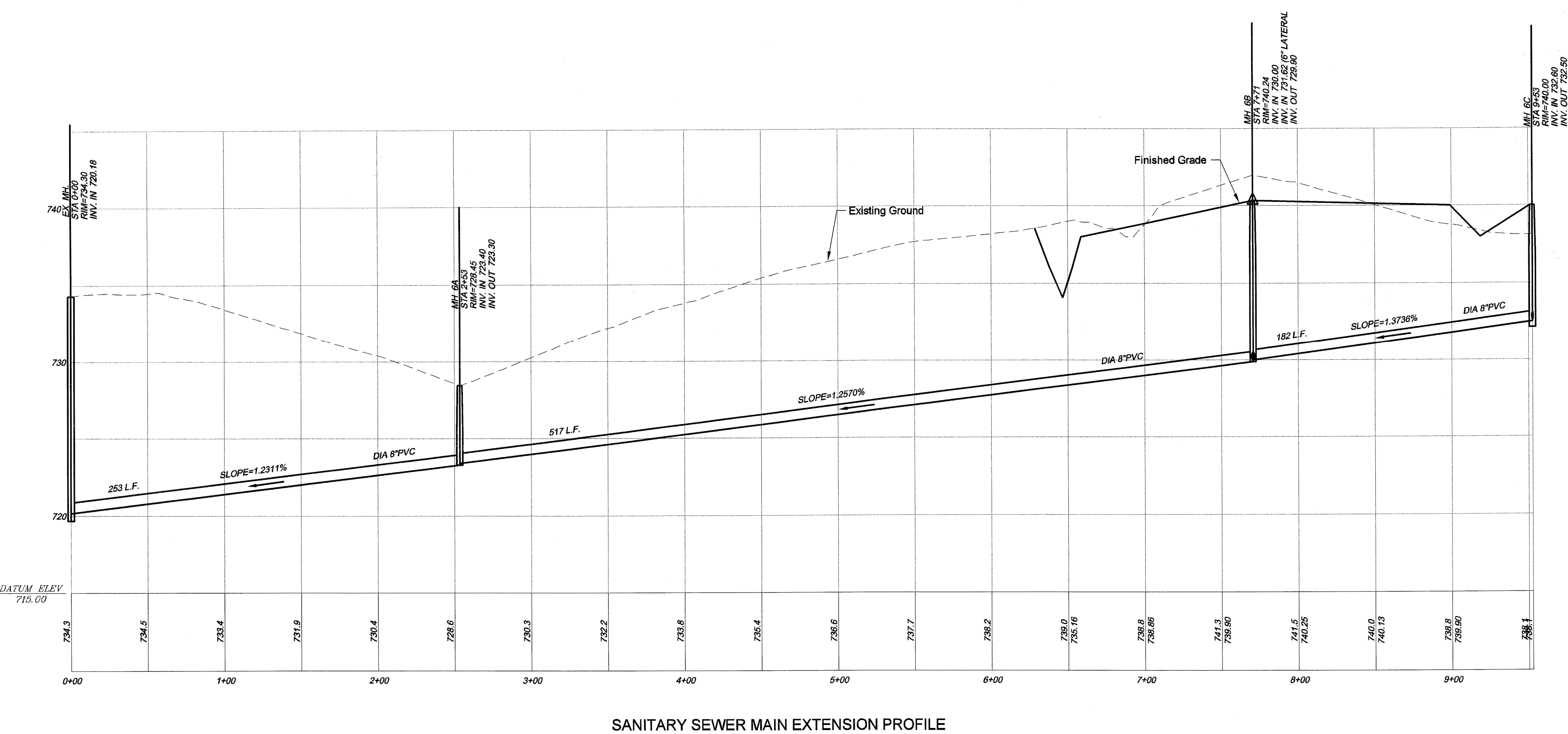
- ALL CONSTRUCTION RELATED TO SANITARY SEWER MUST BE IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE FRANKLIN COUNTY GENERAL AUTHORITY (FCGA).
- IF GROUNDWATER INTERCEPTION AND/OR FLOW IS ENCOUNTERED WITHIN THE SANITARY SEWER TRENCH DURING INSTALLATION, TRENCH PLUGS SHALL BE INSTALLED PER THE FRANKLIN COUNTY GENERAL AUTHORITY (FCGA) SPECIFICATIONS TO MAINTAIN NATURAL GROUNDWATER FLOW AND AVOID GROUNDWATER FLOW IN THE UTILITY TRENCH.



LIGHT DUTY SITE PAVING SPECIFICATION
(FRONT OF BUILDING)
N.T.S.



HEAVY DUTY SITE PAVING SPECIFICATION
(REAR OF BUILDING & DRIVES)
N.T.S.



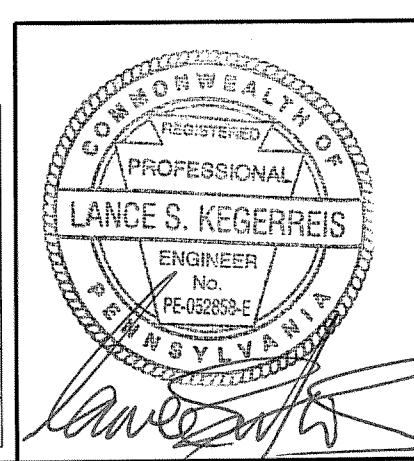
SANITARY SEWER MAIN EXTENSION PROFILE

PLAN
1"=50' HORZ.

PROFILE
1"=50' HORZ.
1"=5' VERT.

REVISIONS

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2	2/09/14	Added SS Note	GCA
1	1/22/14	Labeling Revised	GCA



SANITARY SEWER PLAN/PROFILE & CONSTRUCTION DETAILS

PRELIMINARY LAND DEVELOPMENT PLAN
PARCEL 3-89-20
CUMBERLAND VALLEY BUSINESS PARK
LOCATED IN
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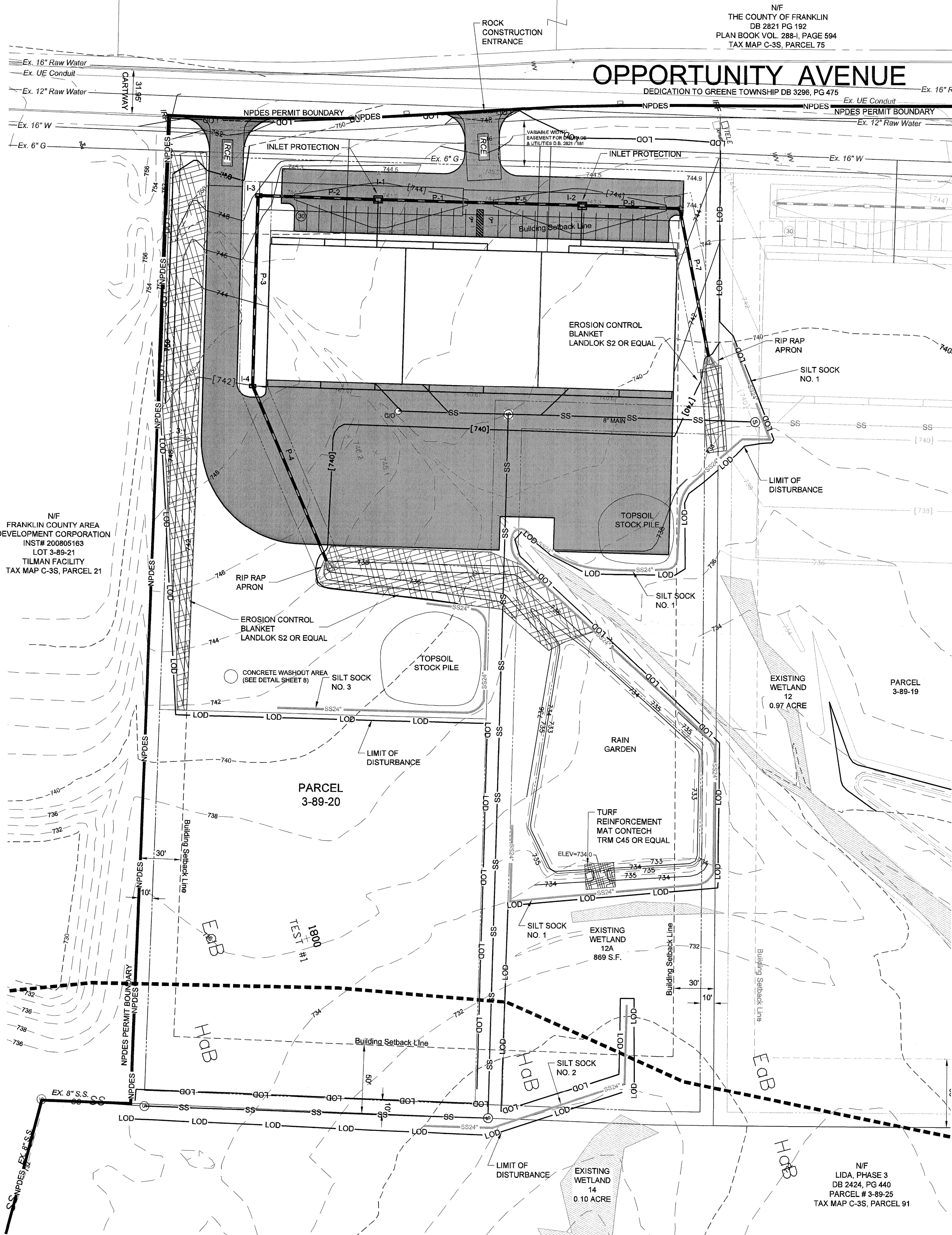
DATE 08/29/13 Autocad DRAWING REF. NUMBER DRAWING No. 13-53

SCALE AS NOTED MARGIN

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OPPORTUNITY AVENUE

DEDICATION TO GREENE TOWNSHIP DB 3296, PG 475



SEQUENCE OF CONSTRUCTION

GENERAL NOTES:

- THE CONSTRUCTION OF THE BUILDING, DRIVEWAYS, PARKING AREAS, DRAINAGE & STORMWATER MANAGEMENT SYSTEM AND UTILITIES SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND GUIDELINES NOTED ON THE PLANS, AND PERFORMED IN A SEQUENCE AND MANNER THAT WILL LIMIT THE AMOUNT OF EXPOSED SOIL AREA, CONTROL RUNOFF CONCENTRATIONS AND VELOCITIES, STABILIZE DISTURBED AREAS WITHIN A REASONABLE TIME PERIOD, AND CONTROL SEDIMENTATION TO WITHIN THE PROJECT AREA. DURING CONSTRUCTION, THE CONTRACTOR SHALL SUPPLEMENT THE FACILITIES SHOWN ON THIS PLAN WITH ADDITIONAL BMP'S AS NECESSARY TO MINIMIZE SEDIMENTATION POLLUTION.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, AND A REPRESENTATIVE FROM THE FRANKLIN COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- UPON INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMP'S AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITEE OR CO-PERMITEE SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. **DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE FRANKLIN COUNTY CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.**

CONSTRUCTION SEQUENCE:

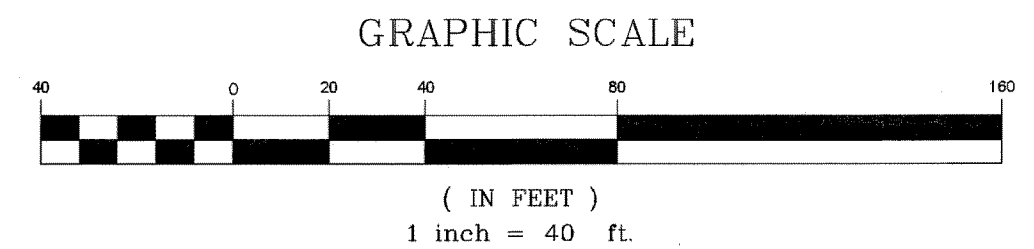
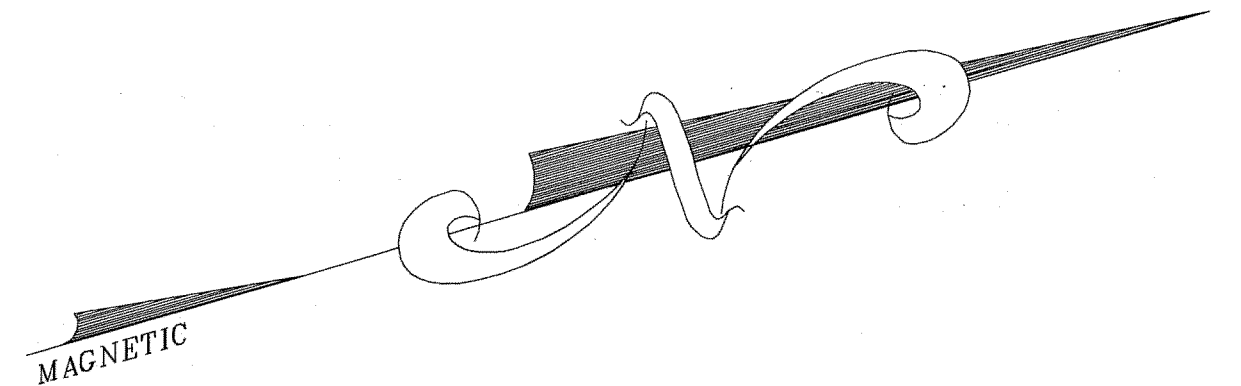
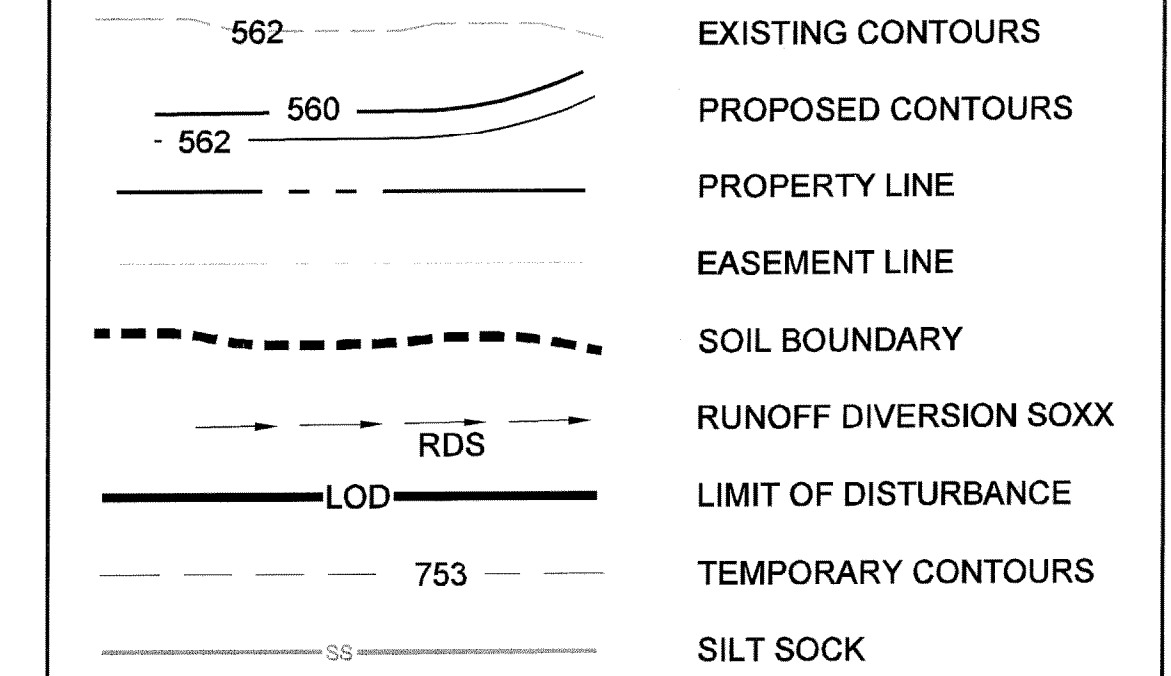
- FIELD-MARK ALL LIMITS OF DISTURBANCE WITHIN THE INTERIOR OF THE SITE. SPECIFICALLY MARK PROPOSED RAIN GARDEN AND INFILTRATION TRENCH AREAS AND WETLAND BOUNDARIES. DO NOT DISTURB WETLANDS. **AVOID COMPACTION OF PROPOSED THE RAIN GARDEN AND INFILTRATION TRENCH AREAS BEFORE, DURING, OR AFTER CONSTRUCTION.**
- INSTALL THE STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL SILT SOCK NOS. 1, 2 AND 3 AS SHOWN ON PLANS.
- CONSTRUCT GRAVITY SANITARY SEWER SERVICE, WATER AND ELECTRIC SERVICE UTILITIES. (SEE UTILITY & PIPELINE INSTALLATION NOTES, THIS PAGE).
- CLEAR AND GRUB AREA. ALL TREES AND BRUSH SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- STRIP AND STOCKPILE TOPSOIL. SEED AND MULCH STOCKPILES WITH TEMPORARY COVER. STOCKPILES SHOULD NOT EXCEED 35 FEET IN HEIGHT AND SIDE SLOPES SHALL BE 2:1 OR FLATTER.
- CONSTRUCT STORM PIPES P-1 THROUGH P-7 AND INFILTRATION TRENCH. **A LICENSED PROFESSIONAL OR DESIGNER SHALL BE PRESENT ONSITE AND BE RESPONSIBLE FOR CONSTRUCTION INSPECTION OF THE INFILTRATION TRENCH DURING CONSTRUCTION.** INSTALL INLET PROTECTION ON ALL INLETS. BLOCK STORM WATER FROM ENTERING INLETS UNTIL UPSLOPE AREA IS STABILIZED.
- CONSTRUCT CHANNEL 1 WITH SOIL AMENDMENTS AND CONSTRUCT SOIL AMENDMENT AREA. STABILIZE THE CHANNEL WITH SEED AND EROSION CONTROL BLANKET.
- GRADE SITE. REPLACE TOPSOIL, SEED AND MULCH LANDSCAPING AREAS AND OTHER DISTURBED AREA WITH PERMANENT COVER.
- CONSTRUCT BUILDING.
- PAVE PARKING AREA AND CONSTRUCT SIDEWALK.
- PRIOR TO REMOVAL OF ANY E&S BMP'S AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH REMOVING E&S BMP'S, THE PERMITEE OR CO-PERMITEE SHALL PROVIDE NOTIFICATION TO THE FRANKLIN COUNTY CONSERVATION DISTRICT.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE STABILIZED IMMEDIATELY. PERMANENT STABILIZATION SHOULD BE DEFINED AS "A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS". ALL PARKING LOTS, DRIVEWAYS, AND STREETS MUST BE PAVED OR HAVE A COMPACTED STONE BASE IN PLACE BEFORE REMOVAL OF BMP'S.
- CONSTRUCT RAIN GARDEN ACCORDING TO DETAIL SHOWN ON THESE PLANS. **DO NOT COMPACT THE SOIL IN RAIN GARDEN. A LICENSED PROFESSIONAL OR DESIGNER SHALL BE PRESENT ONSITE AND BE RESPONSIBLE FOR CONSTRUCTION INSPECTION OF THE RAIN GARDEN DURING CONSTRUCTION.** SPREAD TOPSOIL, THEN SEED AND MULCH RAIN GARDEN WITH PERMANENT COVER. REMOVE BLOCKS FROM INLETS 1 AND 2.
- RAIN GARDEN SHALL NOT BE CONSTRUCTED DURING NON-GERMINATING PERIODS. ALL SEDIMENT DEPOSITED WITHIN RAIN GARDEN AREA SHOULD BE REMOVED PRIOR TO CONSTRUCTING THE RAIN GARDEN.
- WITH APPROVAL OF FRANKLIN COUNTY CONSERVATION DISTRICT EITHER REMOVE THE SILT SOCK OR DISPERSE THE FILTER MEDIA CONTENTS ON-SITE. REMOVE ANY SUPPLEMENTAL EROSION CONTROL DEVICES. SPREAD TOPSOIL AND SEED AND MULCH ALL AREAS DISTURBED BY THE REMOVAL PROCESS WITH PERMANENT COVER.

SOIL EROSION CONTROL FOR PIPELINE AND UTILITY INSTALLATION

ALL EARTHMOVING ACTIVITIES INVOLVING TRENCHES FOR THE CONSTRUCTION OF WATER MAINS, SANITARY SEWER MAINS, STORM DRAINS, BURIED ELECTRIC LINES, OR BURIED TELEPHONE LINES SHALL BE PERFORMED, RESTORED, AND MAINTAINED AS FOLLOWS:

- EXISTING TOPSOIL SHALL BE STRIPPED FROM THE AREA TO BE EXCAVATED, SEGREGATED, AND STOCKPILED FOR REPLACEMENT IN THE TRENCH.
- EXCAVATED TRENCH SPOIL SHALL BE PLACED ON THE UPHILL SIDE OF THE TRENCH FOR REUSE AS BACKFILL. IF THE SPOIL IS NOT TO BE USED AS BACKFILL IT SHALL BE REMOVED FROM THE TRENCH SITE AT THE TIME OF THE EXCAVATION AND UTILIZED AS FILL MATERIAL AS REQUIRED. NO EXCAVATED MATERIAL SHALL BE PLACED IN OR ADJACENT TO DRAINAGE COURSES OR GUTTERS IN ANY MANNER SO AS TO INTERFERE WITH THE FLOW OF STORMWATER.
- CARE SHALL BE TAKEN NOT TO DISTURB THE EXISTING VEGETATIVE COVER ON AREAS NOT TO BE EXCAVATED.
- TRENCH RESTORATION IN VEGETATIVE AREAS SHALL COMMENCE IMMEDIATELY UPON COMPLETION OF BACKFILL OPERATIONS. TOPSOIL SHALL BE PLACED ON THE DISTURBED TRENCH LINE, 6" THICK, AND SLIGHTLY MOUND TO AVOID A DEPRESSED GUTTER WHICH COULD ACCELERATE EROSION.
- RESTORATION OF TRENCHES IN AREAS OF STREETS, ROADWAYS, OR PARKING LOTS SHALL BE IN ACCORDANCE WITH MUNICIPAL SPECIFICATIONS.
- TRENCH EXCAVATION SHALL BE LIMITED TO THE AMOUNT OF WORK THAT CAN BE COMPLETED IN ONE DAY. NO TRENCH SHALL BE LEFT OPEN OVERNIGHT AND THE PIPE ENDS SHALL BE PLUGGED.

LEGEND



TOTAL DISTURBED AREA = 4.67 ACRES

STABILIZATION OF DISTURBED AREAS

ANY DISTURBED AREA SHALL BE STABILIZED IF THE AREA REMAINS IDLE OR IS TO REMAIN IDLE FOR LONGER THAN 4 DAYS.

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	1/22/14	Revised per FCCD / TWP Comments	GCA

SOIL EROSION & SEDIMENTATION CONTROL PLAN

PRELIMINARY LAND DEVELOPMENT PLAN
PARCEL 3-89-20
CUMBERLAND VALLEY BUSINESS PARK
LOCATED IN
GREENE TOWNSHIP, FRANKLIN COUNTY, PA

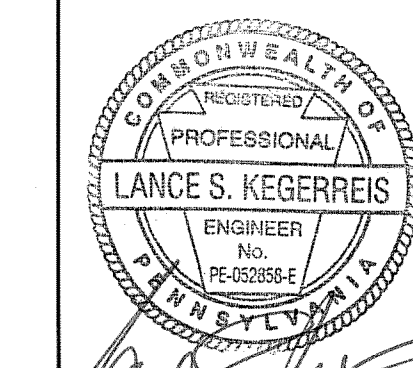
DENNIS E. BLACK ENGINEERING, INCORPORATED
ENGINEERING - SURVEYING - PLANNING
2400 PHILADELPHIA AVENUE 222 NORTH SECOND STREET
CHAMBERSBURG, PA 17201 MCCONNELLSBURG, PA 17233
(717)263-8794 (888)238-0661 (717)485-4028

DWN. CMA	CLIENT No. 3366	ORDER No. 110129	SHEET 7 OF 8
CHK. GA	DATE 08/29/13	AutoCAD DRAWING REF. NUMBER	DRAWING No.
APP. <i>LPL</i>	SCALE 1"=40'	MARGIN	13-53

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SOIL LIMITATIONS AND CONSTRUCTION RECOMENDATIONS

EeB Edom-Carbo silty clay loam	Somewhat to severely limited for pond & embankment construction due to slope, seepage and piping, depth to bedrock, thin thin layer; Carbo soils can be hard to pack	Inspect soils onsite, import suitable soils for fill and pond and embankment construction as required. Import topsoil. Remove bedrock as required if encountered.
	Somewhat to very limited for shallow excavations due to cutbanks caving, high clay content and depth to bedrock.	Provide shoring in trenches, etc. to protect against caving; import suitable soils as required. Remove bedrock as required if encountered.
	Very limited for street construction due to low strength shrink/swell and frost action	Use care in driveway construction, consulting the engineer for guidance when encountering compaction difficulties.



N/F
LIDA, PHASE 3
DB 2424, PG 440
PARCEL # 3-89-25
TAX MAP C-3S, PARCEL 91

NOTICE TO CONTRACTORS

The earthwork depicted on these plans is to be performed pursuant to General NPDES Permit No. PAG02-0028-04-050-1R for the Discharge of Stormwater from Construction Activities. This permit will not cover any off-site fill, spill or borrow areas. It shall be the sole responsibility of the contractor to ensure that any off-site fill, spill or borrow areas he elects to use in conjunction with this project comply with all current applicable permitting requirements of the Pennsylvania Department of Environmental Protection.

All contractors involved in earthmoving operations on this property shall be responsible to use environmental due diligence to ensure that all fill material used on this project is *Clean Fill* as defined below.

Clean Fill is defined as: Uncontaminated, non-water soluble, non-decomposable, inert solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and recognizable as such. The term does not include materials placed in or on the waters of the Commonwealth unless otherwise authorized. (The term "used asphalt" does not include milled asphalt or asphalt that has been processed for re-use.)

Clean Fill affected by a spill or release of a regulated substance; Fill materials affected by a spill or release of a regulated substance still qualifies as clean fill provided that required analytical testing reveals that the fill material contains concentrations of the regulated substances that are below the residential limits in Tables FP-1a and FP-1b found in the Department of Environmental Protection's policy entitled "Management of Fill".

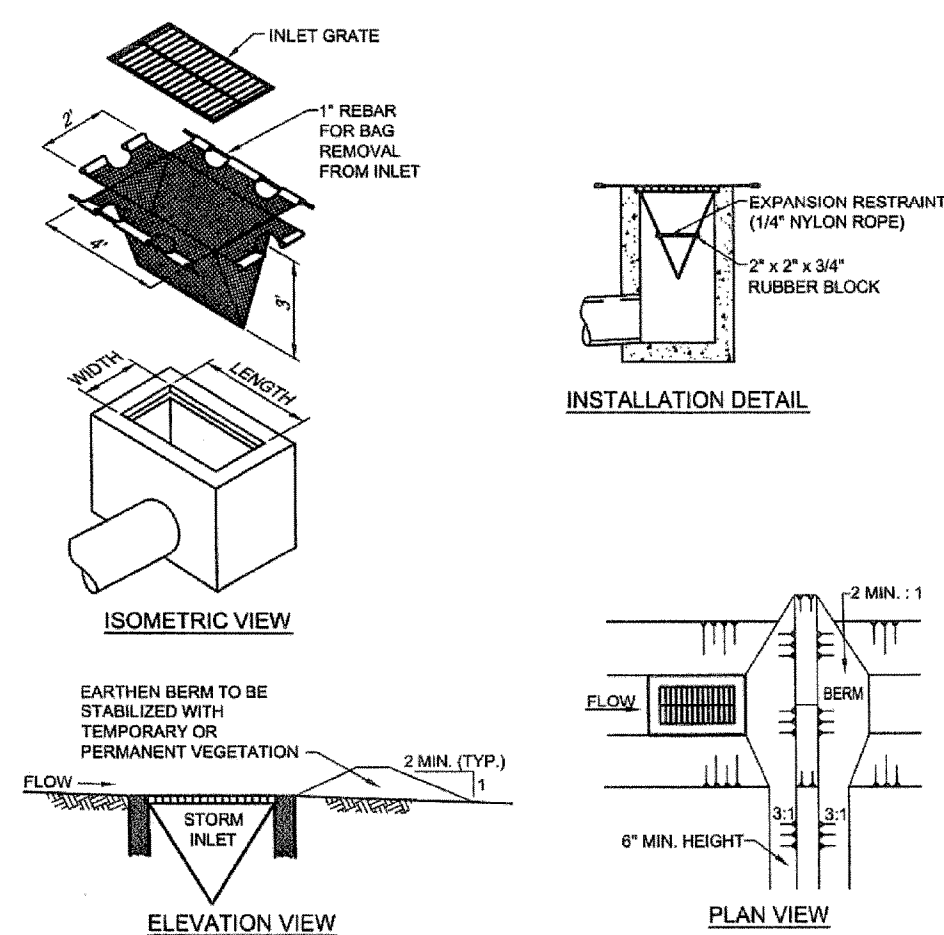
Any person placing clean fill that has been affected by a spill or release of a regulated substance must use form FP-001 to certify the origin of the fill material and the results of the analytical testing to qualify the material as clean fill.

Environmental due diligence is defined as: Investigative techniques, including, but not limited to, visual property inspections, electronic data base searches, review of property ownership, review of property use history, Sanborn maps, environmental questionnaires, transaction screens, analytical testing, environmental assessments or audits.

Analytical testing is not a required part of due diligence unless visual inspection and/or review of the past land use of the property indicates that the fill may have been subjected to a spill or release of a regulated substance. If the fill may have been affected by a spill or release of a regulated substance, it must be tested to determine if it qualifies as clean fill. Testing should be performed in accordance with Appendix A of the Department's policy "Management of Fill".

Fill material that does not qualify as clean fill is regulated fill. Regulated fill is waste and must be managed in accordance with the Department's municipal or residual waste regulations based on 25 Pa. Code Chapters 287 Residual Waste Management or 271 Municipal Waste Management.

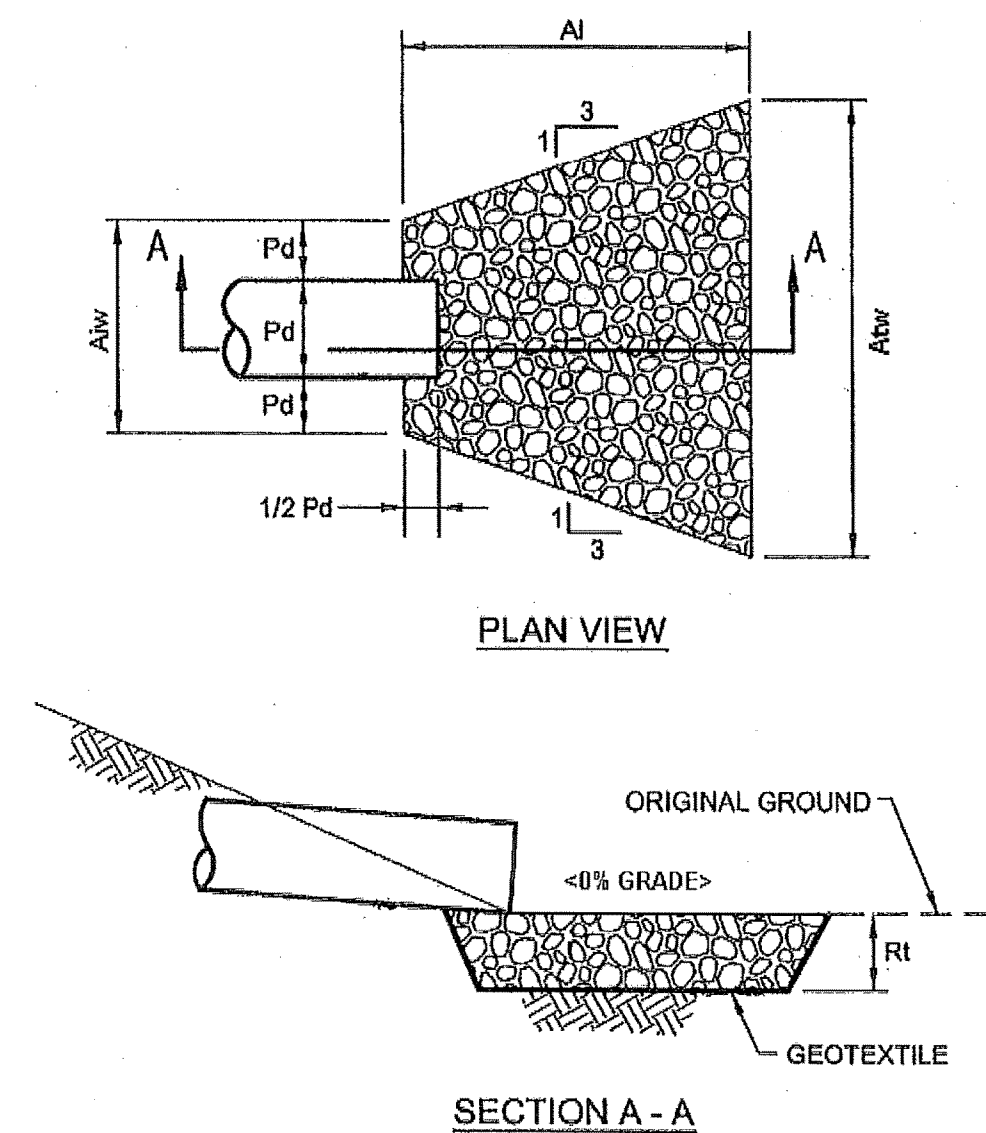
**STANDARD CONSTRUCTION DETAIL # 4-16
Filter Bag Inlet Protection - Type M Inlet**



NOTES:

- Maximum drainage area = 1/4 acre.
- Inlet protection shall not be required for inlet tributary to sediment basin or trap. Berms shall be required for all installations.
- Rolled earthen berm shall be maintained until roadway is stoned. Road subbase berm shall be maintained until roadway is paved. Six inch minimum height asphalt berm shall be maintained until roadway surface receives final coat.
- At a minimum, the fabric shall have a minimum grab tensile strength of 120 lbs, a minimum burst strength of 200 psi, and a minimum trapezoidal tear strength of 50 lbs. Filter bags shall be capable of trapping all particles not passing a No. 40 Sieve.
- Inlet filter bags shall be inspected on a weekly basis and after each runoff event. Bags shall be emptied and rinsed or replaced when half full or when flow capacity has been reduced so as to cause flooding or bypassing of the inlet. Damaged or clogged bags shall be replaced. A supply shall be maintained on site for replacement of bags. All needed repairs shall be initiated immediately after the inspection. Dispose of accumulated sediment as well as all used bags according to the plan notes.
- DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STANDARD CONSTRUCTION DETAIL # 9-2
Riprap Apron at Pipe Outlet without Flared Endwall**



Adapted from USDOT, FHA HEC-14

Outlet No.	Pipe Diameter, Pd (in)	Rip Rap			Apron	
		Size (R-)	Thickness, Rt (in)	Length, Al (ft)	Initial Width, AIW (ft)	Terminal Width, ATW (ft)
P-4	18	4	12	8	4	12
P-7	18	4	12	8	4	12

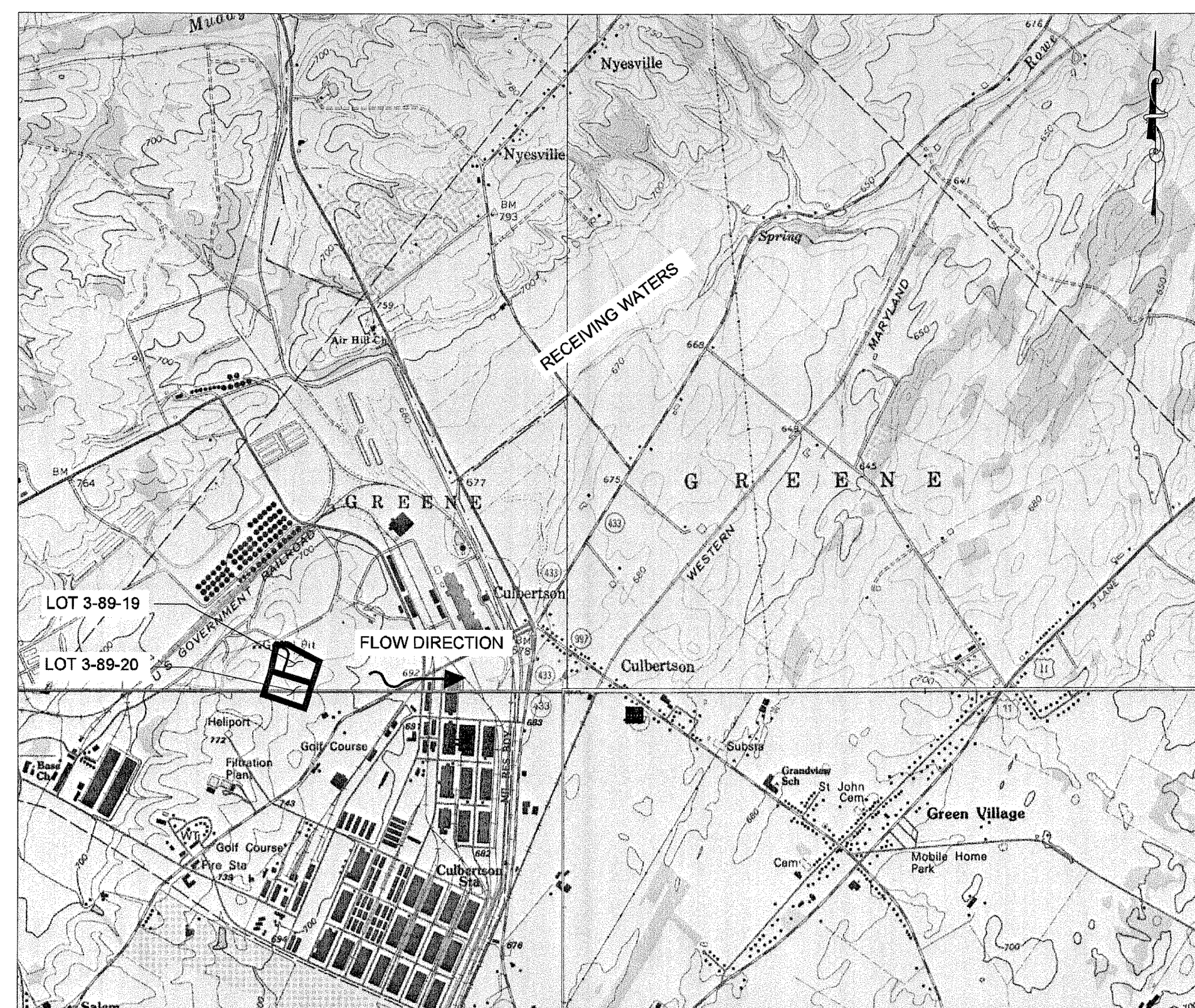
NOTES:

- All aprons shall be constructed to the dimensions shown.
- Terminal widths shall be adjusted as necessary to match receiving channels.
- All aprons shall be inspected at least weekly and after each runoff event.
- Displaced riprap within the apron shall be replaced immediately.
- Extend riprap on back side of apron to at least 1/2 depth of pipe on both sides to prevent scour around the pipe.

RIP RAP OUTLET PROTECTION DETAIL

EROSION CONTROL PLAN NOTES

1. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
2. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
3. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE STABILIZED IMMEDIATELY. PERMANENT STABILIZATION SHOULD BE DEFINED AS "A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS".
4. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATORS SHALL CONTACT THE FRANKLIN COUNTY CONSERVATION DISTRICT FOR A FINAL INSPECTION PRIOR TO REMOVAL OF THE BMP'S.
5. ALL CHANNELS AND DIKES MUST BE KEPT FREE OF OBSTRUCTIONS SUCH AS FILL GROUND, FALLEN LEAVES & WOODY DEBRIS, ACCUMULATED SEDIMENT, AND CONSTRUCTION MATERIALS OR WASTES. CHANNELS SHOULD BE KEPT MOWED AND/OR FREE OF ALL WEEDY, BRUSHY OR WOODY GROWTH. ANY UNDERGROUND UTILITIES RUNNING ACROSS OR THROUGH THE CHANNELS OR DIKES SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNELS OR DIKES REPAIRED AND STABILIZED PER THE APPLICABLE CROSS-SECTION DETAILS.
6. VEGETATED CHANNELS SHALL BE CONSTRUCTED FREE OF ROCKS, TREE ROOTS, STUMPS OR OTHER PROJECTIONS THAT WILL IMPEDE THE NORMAL CHANNEL FLOW AND/OR PREVENT GOOD LINING TO SOIL CONTACT. THE CHANNEL SHALL BE INITIALLY OVEREXCAVATED TO ALLOW FOR THE PLACEMENT OF TOPSOIL.
7. FILL MATERIAL FOR THE CONSTRUCTION OF EMBANKMENTS SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND/OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED IN MAXIMUM 8 INCH LAYERED LIFTS AT 95% DENSITY UNLESS OTHERWISE INDICATED ON THIS PLAN.
8. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE THE DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY COVER SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT COVER SPECIFICATIONS.
9. AN EROSION CONTROL BLANKET MUST BE INSTALLED ON ALL SLOPES STEEPER THAN 3:1 AND ALL AREAS OF CONCENTRATED FLOWS.
10. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
11. ANY SEDIMENT REMOVED FROM BMP'S DURING CONSTRUCTION WILL BE RETURNED TO UPLAND AREAS ON SITE AND BE INCORPORATED INTO THE SITE GRADING.
12. ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL AND SHALL MAKE SURE THAT THE SITE(S) RECEIVING THE EXCESS HAS AN APPROVED EROSION AND SEDIMENT CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR OTHER STATE AND FEDERAL REGULATIONS.
14. TOPSOIL STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SIDE SLOPES SHALL BE 2:1 OR FLATTER.
15. THIS PARCEL CONTAINS WATERCOURSES AND/OR WETLANDS WHICH ARE WATERS OF THE COMMONWEALTH REGULATED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION. DISCHARGES OF DREDGED OR FILL MATERIAL, GRADING, OR MECHANIZED LAND CLEARING WITHIN THESE JURISDICTIONAL WETLANDS, WILL REQUIRE A PERMIT FROM THE DEPARTMENT.



MAP OF RECEIVING SURFACE WATERS
1" = 2000'

MAINTENANCE FOR EROSION & SEDIMENT CONTROL BMP'S

THE PERMITTEE SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL BMP'S UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED. A FINAL INSPECTION HAS BEEN MADE AND THE SITE APPROVED BY THE FRANKLIN COUNTY CONSERVATION DISTRICT, AND THE NPDES PERMIT HAS BEEN TERMINATED, PERMITTEE SHALL COMPILE A WRITTEN REPORT DOCUMENTING ALL INSPECTIONS AND REPAIRS.

AREAS WITH TEMPORARY VEGETATIVE COVER

INSPECT WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT FOR EROSION DAMAGE. REGRADE AND RESTORE TO FINISHED CONDITION IF DAMAGED. RESEED AND MULCH ACCORDING TO THE TEMPORARY COVER SPECIFICATIONS.

AREAS WITH PERMANENT VEGETATIVE COVER

INSPECT WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT FOR EROSION DAMAGE. REGRADE AND RESTORE TO FINISHED CONDITION IF DAMAGED. RESEED AND MULCH ACCORDING TO THE PERMANENT COVER SPECIFICATIONS.

SILT SOXX / SILT FENCE

INSPECT WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT. REPAIR ANY DAMAGE IMMEDIATELY OR REPLACE DAMAGED SECTION OF DEVICE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

DISPOSAL OF SILT FROM BARRIERS

SILT REMOVED FROM SEDIMENT BARRIERS SHALL BE PLACED IN FILL AREAS OR SPOIL AREAS. SEDIMENT USED AS FILL SHALL BE STABILIZED WITH PERMANENT COVER AS SOON AS POSSIBLE AFTER INSTALLATION. SEDIMENT PLACED ON A SPOIL PILE SHALL IMMEDIATELY BE SEEDED WITH TEMPORARY COVER. SILT FENCE SHALL BE PLACED AROUND THE DOWN SLOPE PERIMETER OF ALL SPOIL AREAS.

TEMPORARY COVER FOR EROSION CONTROL

SITE PREPARATION AFTER PLACEMENT OF TOPSOIL FOR TEMPORARY COVER CROP:

1. APPLY ONE (1) TON OF AGRICULTURAL GRADE LIMESTONE PER ACRE.
2. FERTILIZE AT A RATE OF 50 - 50 PER ACRE AND WORK IN WHERE POSSIBLE.
3. APPLY APPROPRIATE SEED SPECIE WITH DRILL OR HYDROSEEDER
 - ALL SEASON SPECIE (APRIL 1 - OCTOBER 1); ANNUAL RYEGRASS AT A RATE OF 40 LBS. PER ACRE.
 - SPRING SEEDING (UP TO JUNE 30); SPRING OATS AT A RATE OF 96 LBS (3 bu.) PER ACRE.
 - SUMMER SEEDING (MAY 15 - AUGUST 15); SUDANGRASS AT A RATE OF 40 LBS. PER ACRE.
 - FALL SEEDING (AUGUST 15 ON); WINTER RYE OR WHEAT AT A RATE OF 3 bu. PER ACRE.
4. MULCH SEEDING AREA WITH HAY AND/OR CEREAL STRAW AT A RATE OF 3.0 TONS PER ACRE TO PRODUCE A LAYER 3/4" TO 1" DEEP. APPLY ASPHALT EMULSION TACKIFIER AT A RATE OF 100 - 150 GALLONS PER ACRE. MOISTEN AND MAINTAIN ADEQUATE MOISTURE.

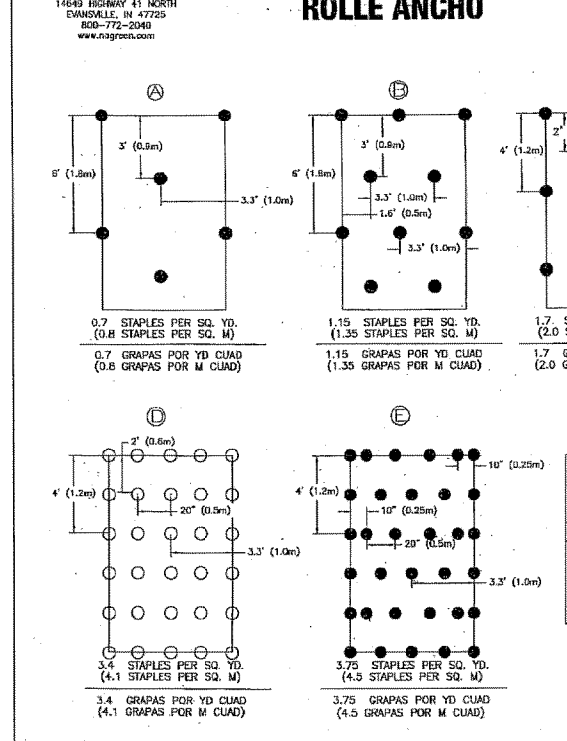
PERMANENT COVER FOR EROSION CONTROL

SITE PREPARATION AFTER PLACEMENT OF TOPSOIL FOR PERMANENT COVER CROP:

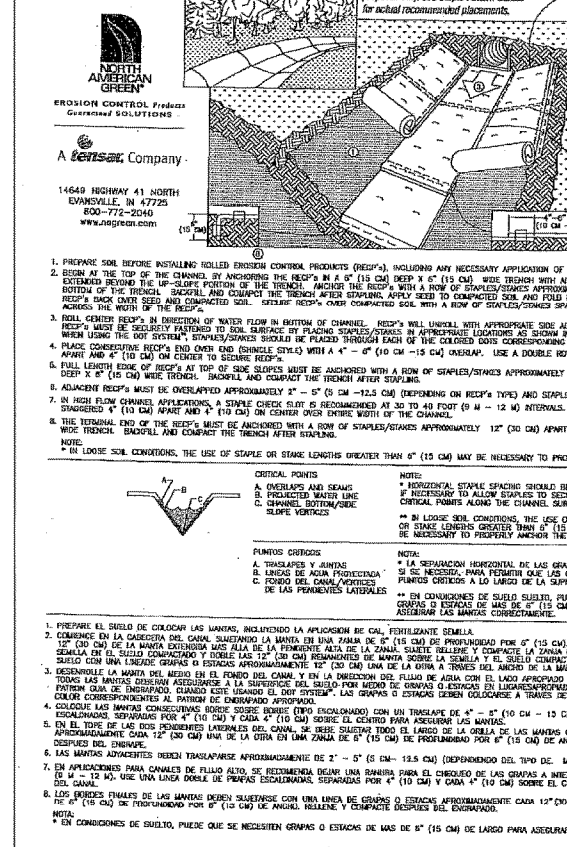
1. APPLY FOUR (4) TO SIX (6) TONS OF AGRICULTURAL GRADE LIMESTONE PER ACRE.
2. FERTILIZE AT A RATE OF 10 - 20 - 10 PER ACRE AND WORK IN WHERE POSSIBLE.
3. APPLY APPROPRIATE SEED SPECIE WITH DRILL OR HYDROSEEDER
 - FORMULA 1: 95 % KY TALL FESCUE, 5% REDTOP
 - APPLICATION RATE: 57 LBS. PER ACRE
 - RECOMMENDED TIME OF SEEDING: APRIL 1 - JUNE 15 OR JULY 25 - SEPTEMBER 15.
- FORMULA 2: 80% KY TALL FESCUE, 20% RYEGRASS
 - APPLICATION RATE: 44 LBS. PER ACRE
 - RECOMMENDED TIME OF SEEDING: APRIL 1 - JUNE 15 OR JULY 25 - SEPTEMBER 15.
4. MULCH SEEDING AREA WITH HAY AND/OR CEREAL STRAW AT A RATE OF 3.0 TONS PER ACRE TO PRODUCE A LAYER 3/4" TO 1" DEEP. APPLY ASPHALT EMULSION TACKIFIER AT A RATE OF 100 - 150 GALLONS PER ACRE. MOISTEN AND MAINTAIN ADEQUATE MOISTURE.

**STAPLE PATTERN GUIDE
6.67' (2.03 M) WIDE ROLLS**

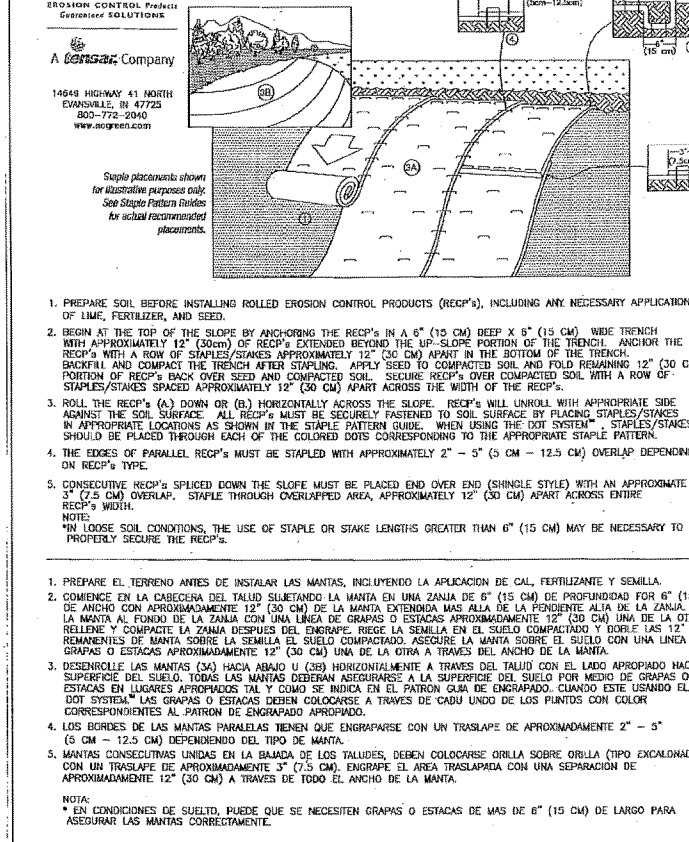
**PARA EL ENGRAPADO
6.67' (2.03 M)
ROLLE ANCHO**



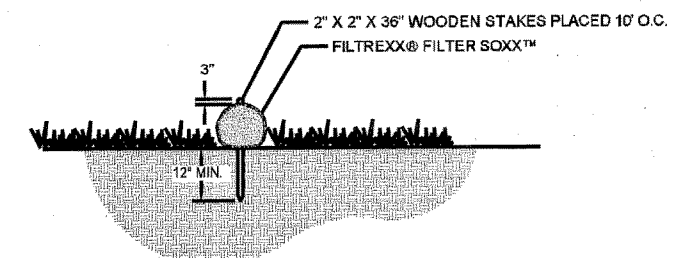
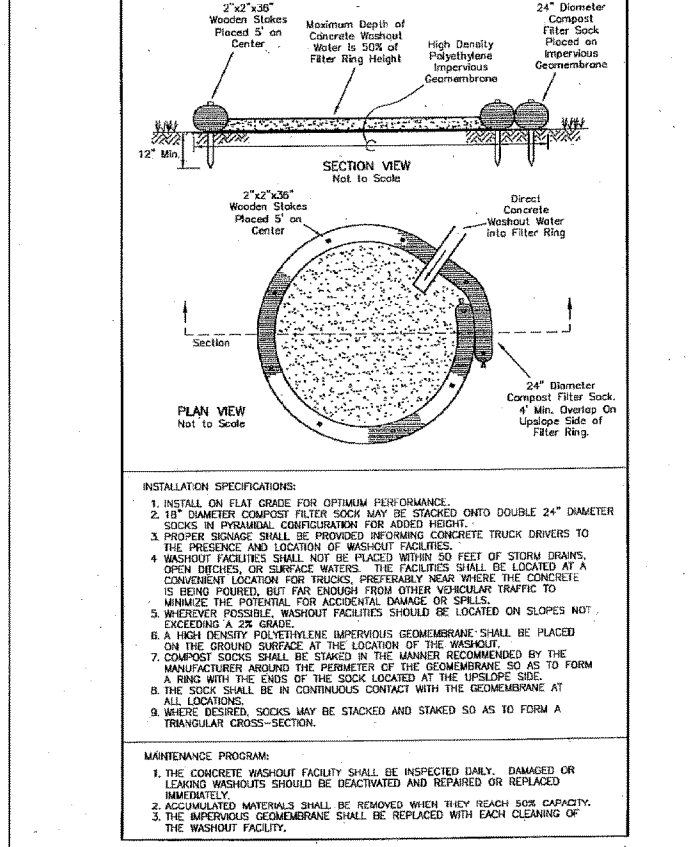
CHANNEL INSTALLATION



**SLOPE INSTALLATION
APLICACIONES PARA TALUDES**



**COMPOST FILTER SOCK CONCRETE
WASHOUT INSTALLATION DETAIL**



FILTREXX® FILTER SOXX™ SECTION

CONSTRUCTION WASTES RECYCLING AND DISPOSAL:

ANTICIPATED CONSTRUCTION, DEMOLITION, AND LANDCLEARING (CDL) WASTE MATERIALS THAT CAN BE SALVAGED, REUSED OR RECYCLED INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: ACOUSTICAL CEILING TILES, ASPHALT, ASPHALT SHINGLES, CARDBOARD PACKAGING, CARPET AND CARPET PAD, CONCRETE, DRYWALL, FLUORESCENT LIGHTS AND BALLASTS, LANDCLEARING DEBRIS (VEGETATION, STUMPAGE, DIRT), METALS, PAINT (THROUGH HAZARDOUS WASTE OUTLETS), WOOD, PLASTIC FILM (SHEETING, SHRINK WRAP, PACKAGING), WINDOW GLASS, WOOD, FIELD OFFICE WASTE, INCLUDING OFFICE PAPER, ALUMINUM CANS, GLASS, PLASTIC, AND OFFICE CARDBOARD.

ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT THE 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. ANY SEDIMENT REMOVED FROM BMP'S DURING CONSTRUCTION WILL BE RETURNED TO UPLAND AREAS ON SITE AND INCORPORATED INTO THE SITE GRADING.

REVISIONS

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1	12/13/2013	Revised per FCCD Comments	GCA

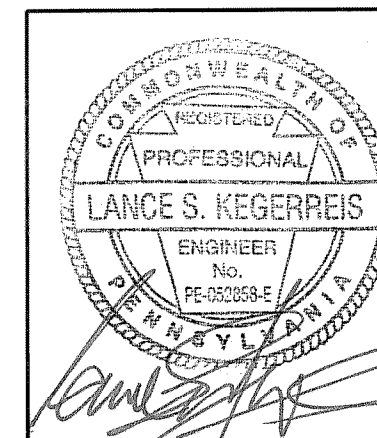
SOIL EROSION & SEDIMENTATION CONTROL PLAN NOTES AND DETAILS

PRELIMINARY LAND DEVELOPMENT PLAN
PARCEL 3-89-20
CUMBERLAND VALLEY BUSINESS PARK
LOCATED IN
GREENE TOWNSHIP, FRANKLIN COUNTY, PA

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CHK_GA	DATE 08/29/13	AutoCAD DRAWING REF. NUMBER	DRAWING No. 13-53
APP_LAL	SCALE MARGIN		

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